



SOMA STAGE 3 - CHILDCARE CENTRE

8 GREGORY HILLS DR, GLEDSDOOD HILLS

DEVELOPMENT APPLICATION

PROPOSED CHILDCARE CENTRE & SIGNAGE

AUGUST 2023
REVISED DECEMBER 2023

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STREET VIEW - NORTHWEST

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Rev	Description	Date
K	Concept Design	31.03.2023
L	Issued for Pre-DA	20.04.2023
N	Issued for review	28.06.2023
O	Draft DA for Review	24.07.2023
P	Revised Draft DA	01.08.2023
Q	Issued for DA	22.08.2023
R	Amended for DA	08.12.2023

Soma Stage 3 - Childcare Centre

9 Gregory Hills Dr, Gledswood Hills

Cover Sheet

Soma

PROJECT NUMBER 2023-0170
DATE August 2023

STATUS Development Application
DRAWN BY BR
SCALE
REVISION R
DRAWING NO. **A000**

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FITOUT NOTES

FITOUT TO COMPLY WITH THE FOLLOWING ACTS & CODES

THE WALLS FLOORS AND CEILING CONSTRUCTION INCLUDING FINISHES AND FITOUT OF ROOMS USED FOR FOOD PREPARATION, STORAGE OR DISPLAY SHALL COMPLY WITH THE REQUIREMENTS OF THE FOOD REGULATION 2004 UNDER THE FOOD ACT 2003, STANDARD 3.2.3 – FOOD PREMISES AND EQUIPMENT OF THE AUSTRALIA NEW ZEALAND FOOD STANDARDS CODE, AUSTRALIAN STANDARDS AS4674-2004 "DESIGN, CONSTRUCTION AND FITOUT OF FOOD PREMISES", AND LOCAL COUNCIL POLICIES.

THE WALLS INCLUDING INTERNAL WALLS OF THE FOOD PREMISES TO THE FOOD PERPARTION AREAS, KTICHENS, SCULLERIES, FOOD DISPLAYS, FOOD SERVERIES AND FOOD STORAGE AREAS SHALL BE OF SOLID CONSTRUCTION (EG BRICK, CONCRETE, BLOCKWORK, LIGHT WEIGHT CONCRETE BLOCK OR OTHER SIMILAR APPROVED HOMOGENOUS MATERIAL.

AY KTICHENS, SCULLERIES, FOOD DISPLAYS, FOOD SERVERIES AND THE LIKE SHALL BE FINISHED TO A HEIGHT OF AT LEAST TWO (2) METRES ABOVE FINISHED FLOOR LEVEL WITH: -
(I) GLAZED TILES FIXED IN ACORRRDANCE WITH THE REQUIREMENTS OF AS3958.1;
(II)STAINLESS STEEL OR OTHER APPROVED IMPERVIOUS MATERIAL ADHERED DIRECTLY TO THE WALL

CEILINGS OVER FOOD PREPARATION, DISPLAY AND STORAGE AREAS ARE TO BE CONSTRUCTED OF RIGID SMOOTH FACED MATERIAL SUCH AS PLASTERBOARD OR VILLABOARD FINISHED WITH SET JOINTS AND PLASTER CORNICE AT THE WALLS AND ARE REQUIRED TO BE PAINED IN A WASHABLE GLOSS PAINT OF LIGHT COLOUR.

FLOORS ARE TO BE COVERED IN APPROVED FLOOR COVERINGS;
(A) WITH THE USE OF CERAMIC FLOOR TILES COVED WITH A 25MM CERAMIC COVE TILE AT THE INTERSECTION OF WALLS, OR
(B) WITH THE USE OF A CONTINUOUS SHEET VINYL RETUTEDN 150MM UP THE WALL TO FORM A COVE AND SEALED TO THE WALL AND FILLET WITH AN APPROVED FILLET OR BACKING PIECE TO PROVIDE SUPPORT, OR
(C) WITH THE USE OF IMPERVIOUS TROWELLED EPOXY OVER CONCRETE, COVED AT THE INTERSECTION OF THE WALLS AND FLOOR

FLOORS ARE TO BE ADEQUATELY GRADED AND DRAINED TO THE REQUIRED FLOORWASTE(S).

LIGHT FITTINGS BEING RECESSED FLUSH TO THE CEILING SURFACE OR BE OF A "SQUARELINE"TYPE ATTACHED TO THE UNDERSIDE AND PROVIDED WITH APPROVED DIFFUSER COVER.

SERVICES PIPES, CONDUITS, CONDENSATE DRAINS AND THE LIKE BEING CONCELAEED BEHIND THE FINISHED FLOOR AND CEILING SURFACES. WHERE SUCH SERVICES ARE INSTALLED PRE-FABRICATED PANELS PROVIDE 25MM CLEARANCE OFF PANEL SURFACES.

ALL HOT AND COLD HOLDING UNITS USED FOR STORAGE OR PERISHABLE FOODS EG COOLROOM/FREEZER ROOMS, FRIDGES, PIE WARMERS, BAIN MARIES, ROLLER GRILLS, ETC MUST BE FITTED WITH PERMANENT THERMOMETERS ACURATE TO ONE (1) DEGREE THAT ARE ABLE TO BE READ OUTSIDE THE UNIT (IE WITHOUT OPENING THE UNIT) AND MUST BE FITTED IN A LOCATION THAT GIVES AN ACCURATE READING OF THE TEMPERATURE OF THE FOOD.

ALL COOKERS, OVENS, VATS, FRIDGES, FREEZERS, BENCHES, CUPBOARDS, SHELVES OR SIMILAR APPLIANCES OR EQUIPMENT ARE ERQUIRED TO BE FITTED WITH LEGS SO AS THE BASE IF THE UNIT US AT LEAST 150MM OFF THE FLOOR SURFAC. FURTHER CONSIDERATION MUST BE GIVEN TO DEEP UNITS SO AS TO NOT HINDER CLEANING REQUIREMENTS.

WASTE DRAINAGE FROM THE COFFEE MACHINE SHALL BE CONVEYED TO THE SEWER BY APPROVED CLEANING MEANS. IT IS THE APPLICANTS RESPONSIBILITY TO ENSURE THAT THE APPROPRIATE PROGRESS AND FINAL INSPECTIONS OF THE FOOD PREMISES FITOUT HAVE BEEN CARRIED OUT BY THE PRINCIPAL CERTIFYING AUTHORITY.

A CLEANERS SINK SHALL BE PROVIDED WITH HOT AND COLD WATER CONNEDTED THERE TO THROUGH COMMON MIXING SPOUT. THIS WILL BE LOCATED IN THE STORAGFE ROOM NEXT TO THE EMPLOYEE AMENITIES. REFER TO PLANS FOR LOCATION.

ALL HAND WASH BASINS SHALL BE PROVIDED IN SUFFICIENT NUMBER WITHIN A FOOD PREMISES AND MUST BE FITTED WITH A "HANDS FREE" OPERATION WITH A SINLGE SPOUT TO MIX HOT AND COLD WATER.

ALL WALL, FLOOR AND CEILING PENETRATIONS TO BE SEALED TO PREVENT VERMIN/ PEST ACCESS

ALL SERVICE PIPES & CONDUITS TO BE LABELLED PER AS1345 & AS1319. ALL WATER SUPPLY TO BE PROVIDED PER AS3500.1.2 & AS3500.4.2

VENTILATION (BOTH NATURAL & MECHANICAL) TO BE PROVIDED PER BCA REQUIREMENTS

LIGHT FITTINGS PROVIDED PER BCA & AS4674-2004

ALL TILES IN FOOD PREPARATION AND WASHING AREAS TO BE EPOXY GROUTED AND WALL/FLOOR JUNCTION COVING TO BE PROVIDED PER AS4674-2004 REQs

UNDERSIDE OF ALL COUNTERS IN FOOD/BEVERAGE PREPARATION AND WASHING AREAS TO BE IMPERVIOUS

ALL SLIDING JOINERY DOORS TO BE TOP HUNG. NO BACK PANEL TO BE PROVIDED TO JOINY CUPBOARDS TO ALLOW INSPECTION BEHIND

KITCHEN EQUIPMENT INSTALLED PER AS4674-2004, SUCH THAT IT IS EASILY MOVEABLE, SEALED TO THE WALL OR SET OFF THE WALL TO ALLOW FOR INSPECTION AND CLEANING

GARBAGE STOREROOMS TO COMPLY WITH AS4674 AND INCLUDE THE FOLLOWING;
A) TO BE GRADED AND DRAINED TO SEWER,
B) PAVED WITH IMPERVIOUS MATERIAL
C) PROVIDED WITH A HOSE TAP CONNECTION TO THE WATER SUPPLY, BE
D) VENTILATED, PROOFED AGAINST PESTS
E) COVING PROVIDED TO WALL AND FLOOR INTERSECTIONS.

GARAGE STOREROOMS
ROOM TO COMPLY WITH AS4674.
FLOOR FINISH TO BE IMPERVIOUS, GRADED AND DRAINED TO SEWER WITH COVING AT WALL JUNCTIONS.
HOSE TAP CONNECTED TO WATER SUPPLY TO BE PROVIDED WITHIN THE ROOM.
ROOM TO BE VENITALTED AND PROOFED AGAINST PESTS.

CARPARKING
ALL PARKING SPACES TO COMPLY WITH AS2890.1 AND BUILDING CODE REQUIREMENTS

ACCESSIBLE REQUIREMENTS
ALL ACCESSIBLE BATHROOMS TO COMPLY WITH AS1428.1 AND BUILDING CODE REQUIREMENTS
BUILDING ACCESS TO COMPLY WITH AS1428.1 AND BUILDING CODE

CHILDCARE FACILITIES
CHILDCARE FACILITIES TO COMPLY WITH BUILDING CODE AND NATIONAL QUALITY STANDARDS AS REQUIRED

DEVELOPMENT REQUIREMENTS

CHILDCARE

UNENCUMBERED PLASPACE REQUIREMENTS

INTERNAL - 3.25sqm PER CHILD
EXTERNAL - 7sqm PER CHILD

PARKING REQUIREMENTS

1 SPACE PER 4 CHILDREN
1 MOTORBIKE PER 50 CARS
1 BICYCLE PER 25 CARS

SETBACKS

FRONT - AS PER ADJACENT
SIDE - 1.2m
- 4m IF DOORS TO INTERNAL PLAYSACE FACE BDY
REAR - 4m GROUND
- 8m FIRST FLOOR

PARKING GENERALLY

- BUSINESS DEVELOPMENT AREA REQUIRES HRV ACCESS
- 2.5m WIDE LANSCAPE BAY PER 8 CAR SPACES
- 1m WIDE LANDSCAPE STRIP AT END/START OF EACH BAY
- 1m WIDE LANDSCAPE STRIP ALONG BOUNDARY

DEVELOPMENT SUMMARY

SITE AREA - 3501sqm

CHILDCARE

ROOM SUMMARY

R#	AGE (vrs)	PLACES	STF/RAT	INTERNAL	EXTERNAL	store(int0.2)	store(ext0.3)
01	0-2	16	4 @ 1:4	52sqm	112sqm	3.2sqm	4.8sqm
02	0-2	16	4 @ 1:4	52sqm	112sqm	3.2sqm	4.8sqm
03	2-3	25	5 @ 1:5	82sqm	175sqm	5sqm	7.5sqm
04	2-3	25	5 @ 1:5	82sqm	175sqm	5sqm	7.5sqm
05	2-3	25	5 @ 1:5	82sqm	175sqm	5sqm	7.5sqm
06	3-5	30	3 @ 1:10	98sqm	210sqm	6sqm	9sqm
07	3-5	30	3 @ 1:10	98sqm	210sqm	6sqm	9sqm
08	3-5	30	3 @ 1:10	98sqm	210sqm	6sqm	9sqm
TOTAL		197	32	644sqm	1,379sqm	39.4sqm	59.1sqm

PARKING

CARS @ 1:4 CHILDREN = 50 CARS
MOTOS @ 1:50 CARS = 1 MOTO
BIKES @ 1:25 CARS = 2 BIKES

PARKING PROVIDED - CARS = 63 spaces (2 x Accessible)
- MOTORBIKE = 4 spaces
- BICYCLE = 8 spaces

LANDSCAPING DEEP SOIL - 415sqm (12%)

GFA GFL - 140sqm
FFL - 1100sqm
TOTAL - 1540sqm
FSR - 0.44:1

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Soma Stage 3 - Childcare Centre

9 Gregory Hills Dr, Gledswood Hills

Soma

Notes & Schedules

PROJECT NUMBER 2023-0170

DATE August 2023

STATUS Development Application

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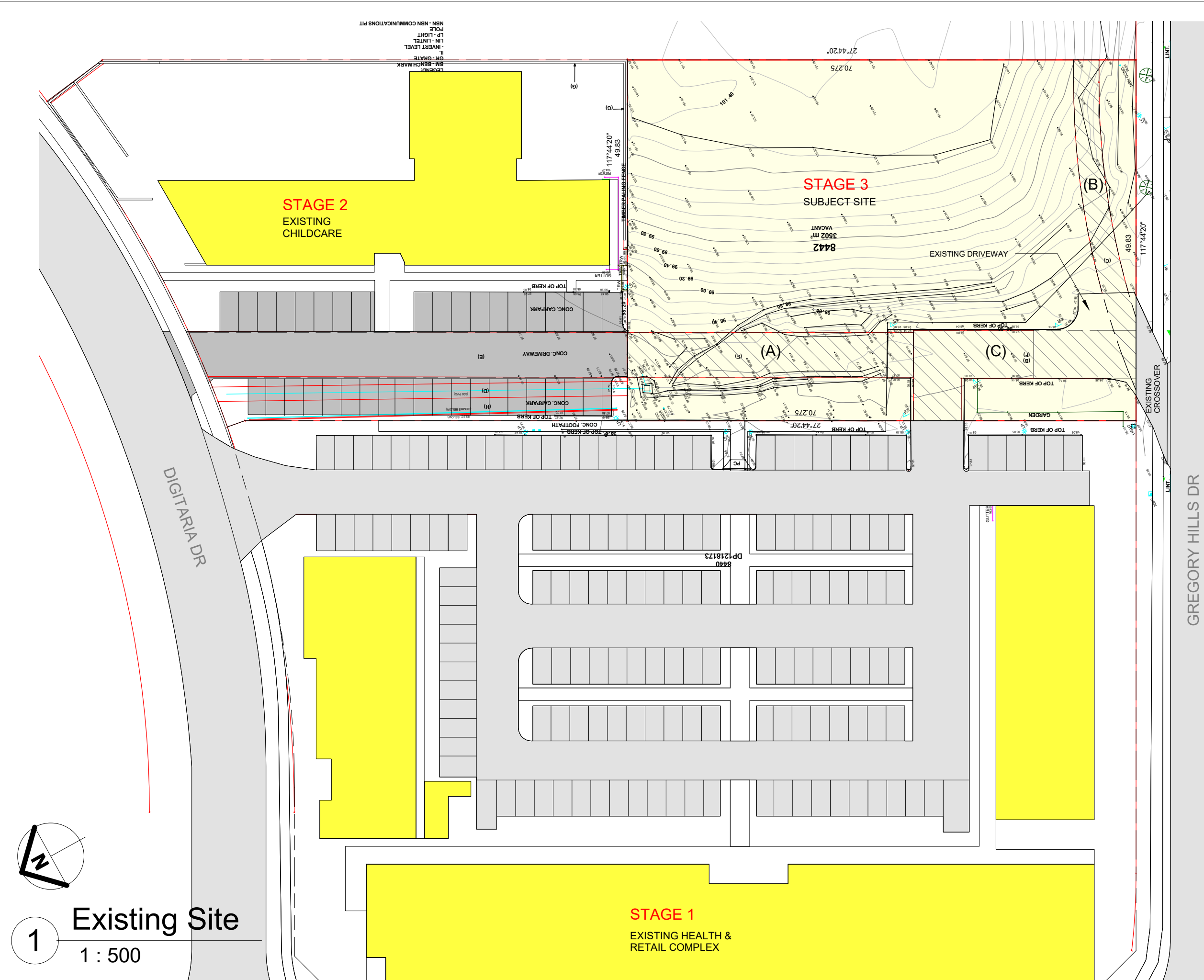
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DRAWING NO.

REVISION R A001



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F	Prelim Concept for review	01.03.2023
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(A) - RIGHT OF CARRIAGEWAY 6.2m WIDE
(B) - RIGHT OF CARRIAGEWAY 3.5m WIDE
(C) - RIGHT OF CARRIAGEWAY 6.6m WIDE

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Soma Stage 3 - Childcare Centre

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Existing Conditions

PROJECT NUMBER 2023-0170

DATE August 2023

STATUS Development Application

DRAWN BY BR

SCALE 1 : 500

DRAWING NO.

REVISION R **A002**

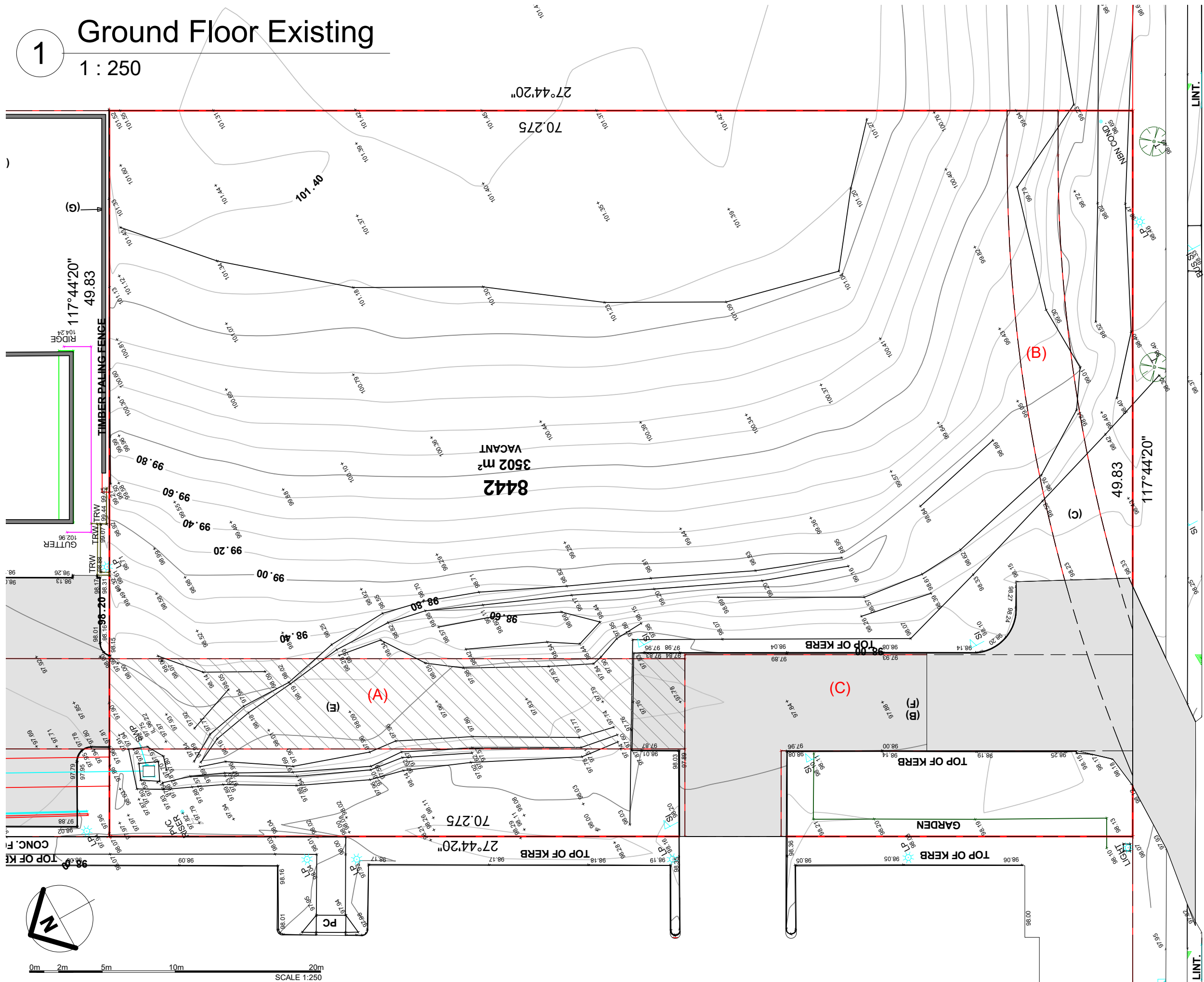


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1

Ground Floor Existing

1 : 250



Rev	Description	Date
Q	Issued for DA	22.08.2023
R	Amended for DA	08.12.2023

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Existing Conditions

PROJECT NUMBER 2023-0170

DATE August 2023

STATUS Development Application

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SCALE 1 : 250

DRAWING NO.

REVISION R **A005**

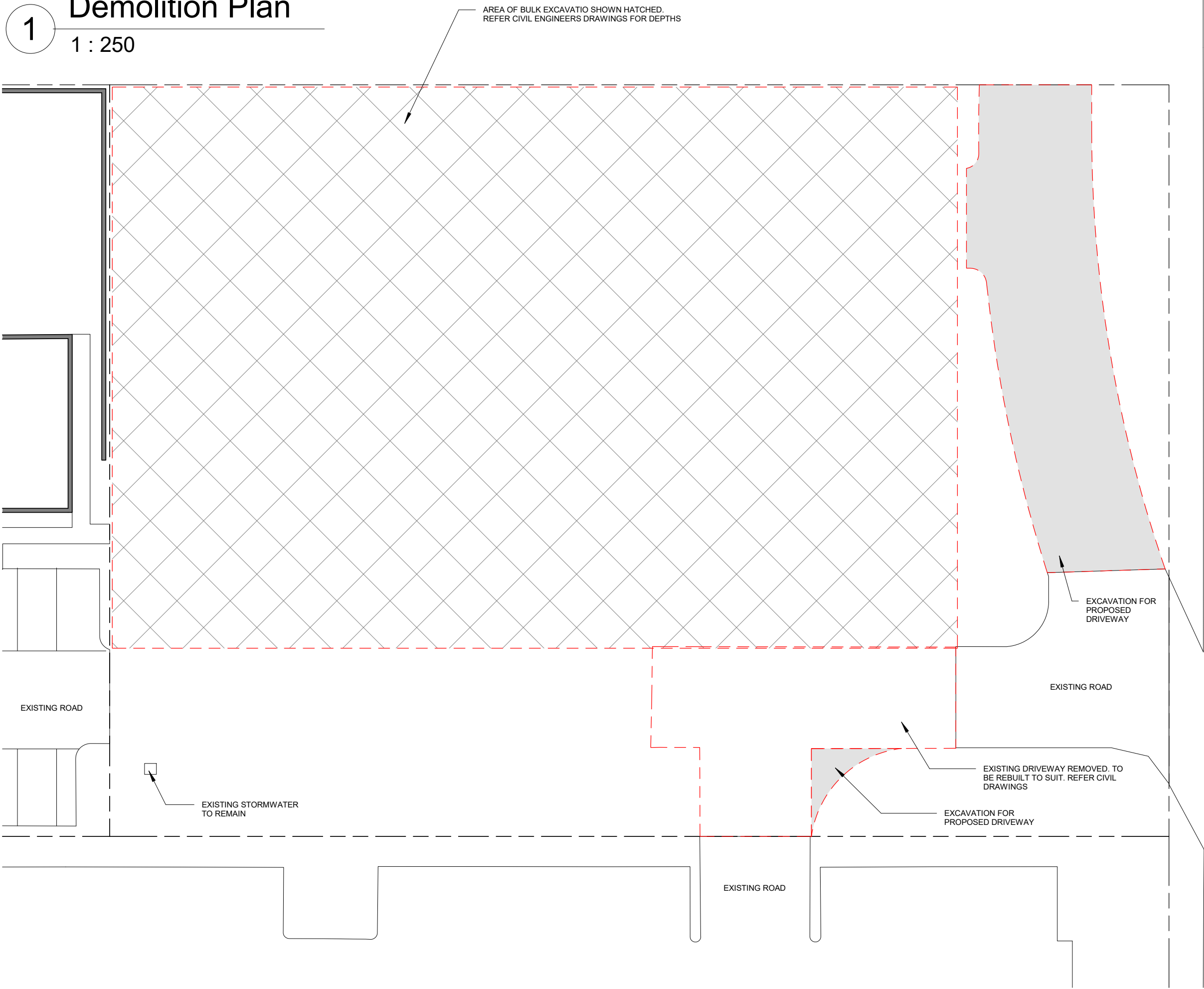


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1

Demolition Plan

1 : 250



Rev	Description	Date
R	Amended for DA	08.12.2023

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Soma Stage 3 - Childcare Centre

9 Gregory Hills Dr, Gledswood Hills

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Demolition Plan

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DATE August 2023

STATUS Development Application

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SCALE 1 : 250

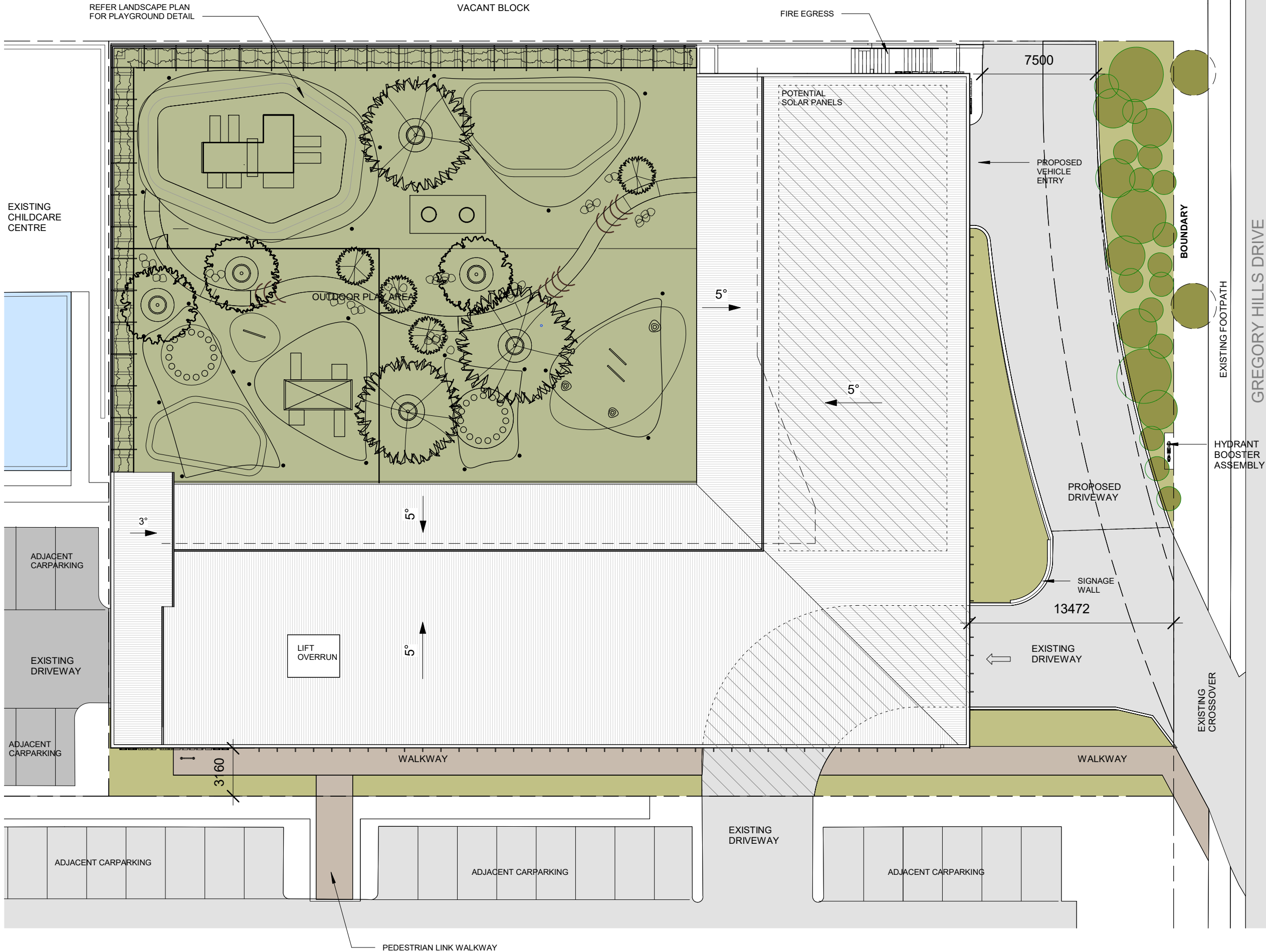
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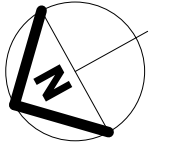
A006



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Rev	Description	Date
A	Initial Site Concepts	31.01.2023
I	Issued for Review	23.03.2023
J	Prelim Concept Design	29.03.2023
K	Concept Design	31.03.2023
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Site Plan

PROJECT NUMBER 2023-0170

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SCALE 1 : 250

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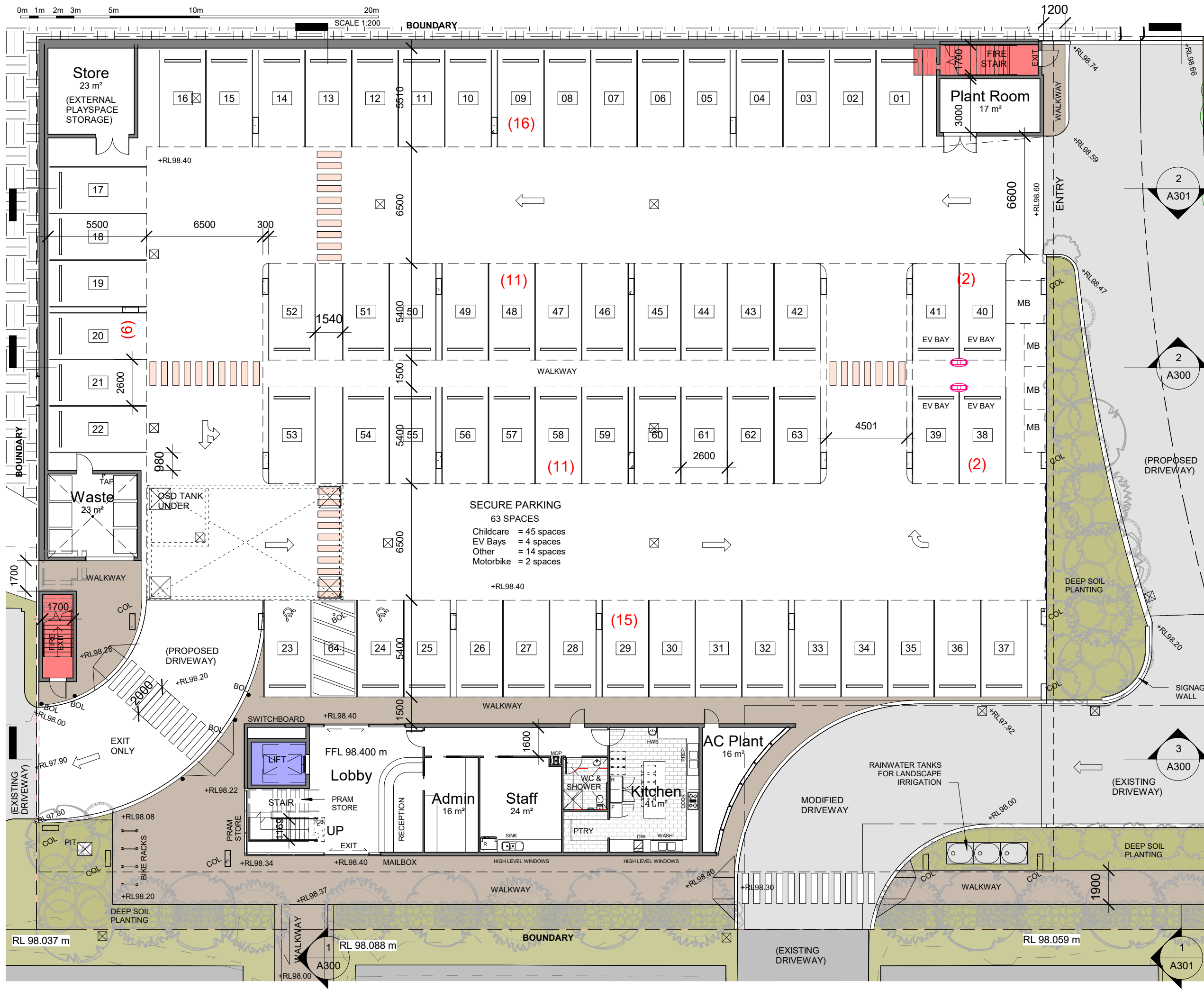
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A050

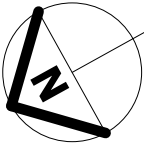


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0m 2m 5m 10m 20m
SCALE 1:250



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Soma Stage 3 - Childcare Centre

9 Gregory Hills Dr, Gledswood Hills

Soma

Ground Floor Plan

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SCALE 1 : 200

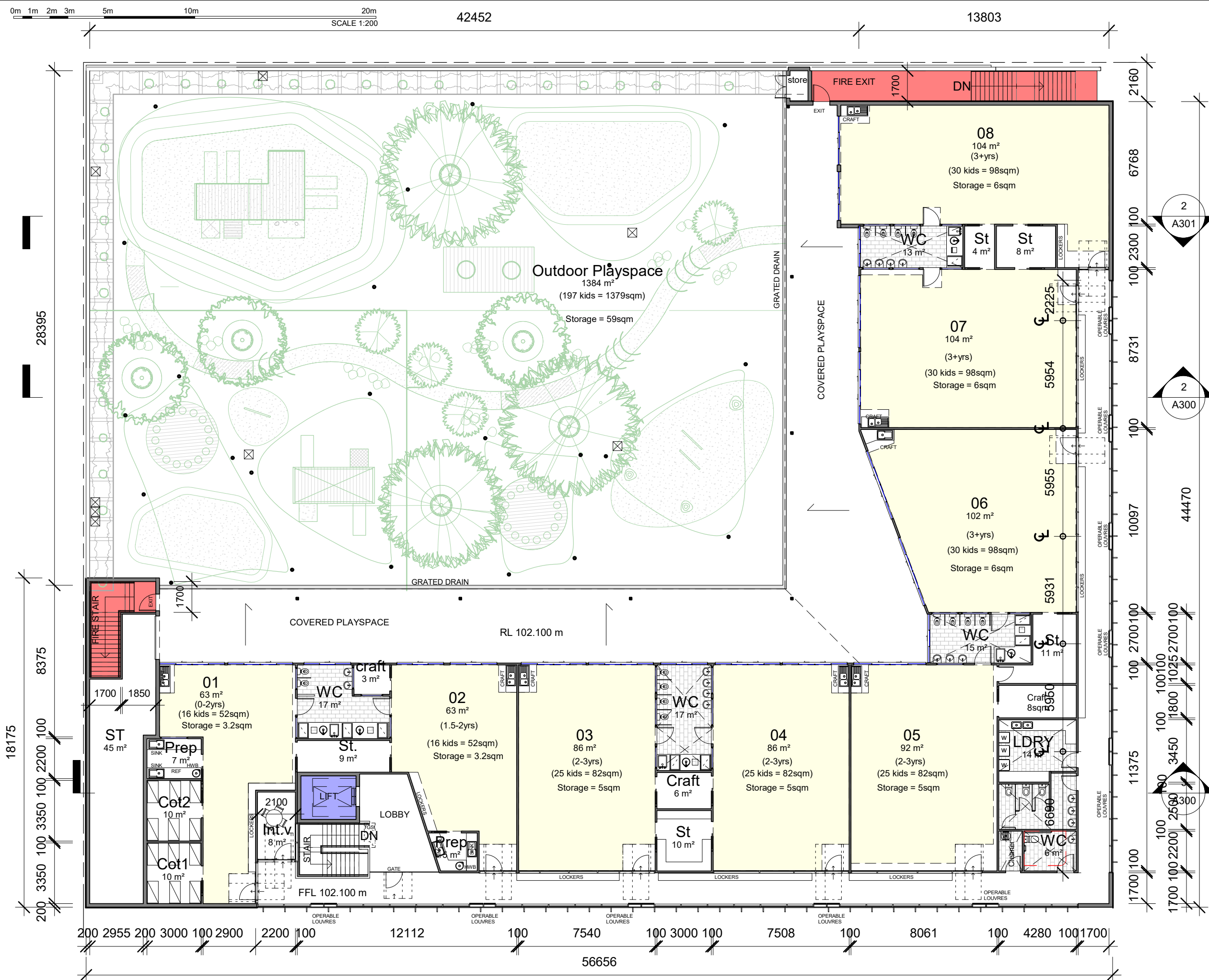
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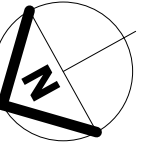


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Soma Stage 3 - Childcare
Centre

9 Gregory Hills Dr, Gledswood Hills

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First Floor Plan

PROJECT NUMBER	2023-0170
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DRAWN BY	BR
SCALE	1 : 200
DRAWING NO.	
REVISION	R

A101

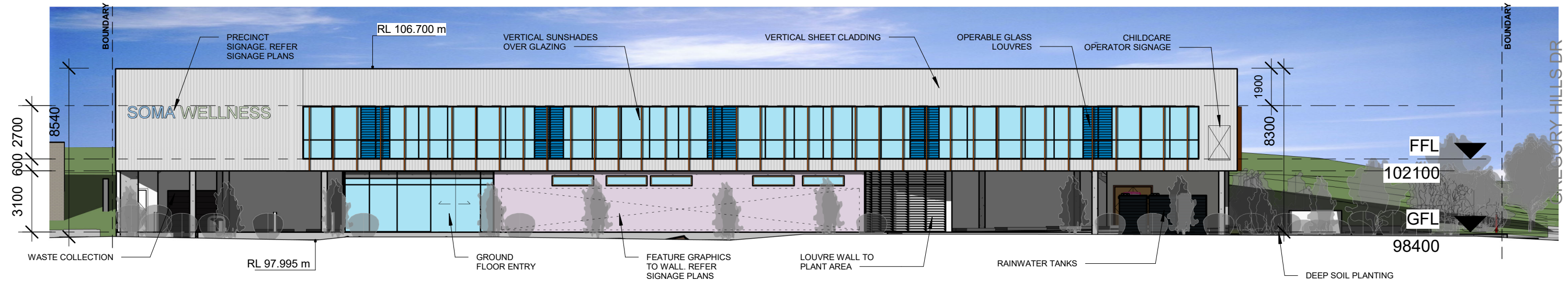
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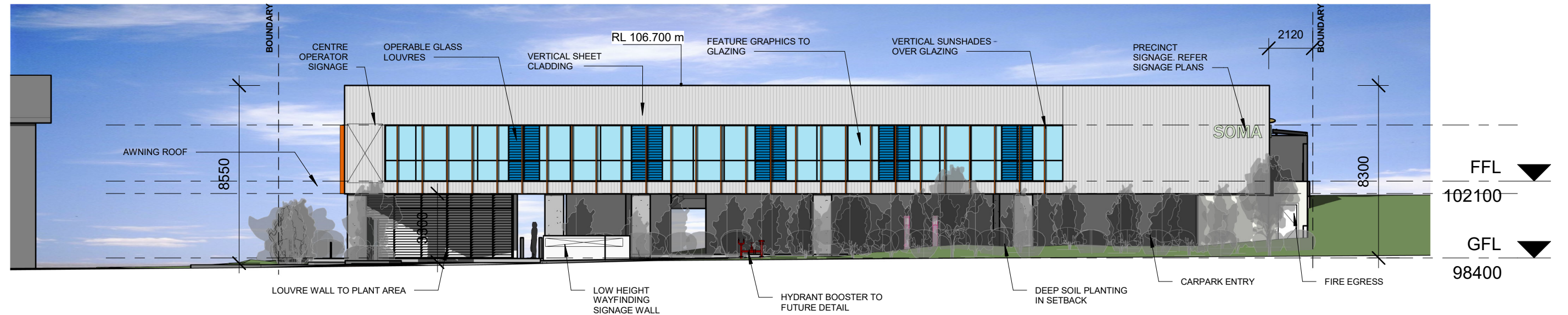
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NOTE: REFER TO SIGNAGE CONSULTANT
DRAWINGS FOR FEATURE WALL DETAIL,
SIGNAGE DETAIL AND CROSSING DETAIL



1 Northwest
1 : 200



2 Southwest (Gregory Hills Dr)
1 : 200

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Soma Stage 3 - Childcare Centre

9 Gregory Hills Dr, Gledswood Hills

Elevations

Soma

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DRAWING NO.

Development Application

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1 : 200

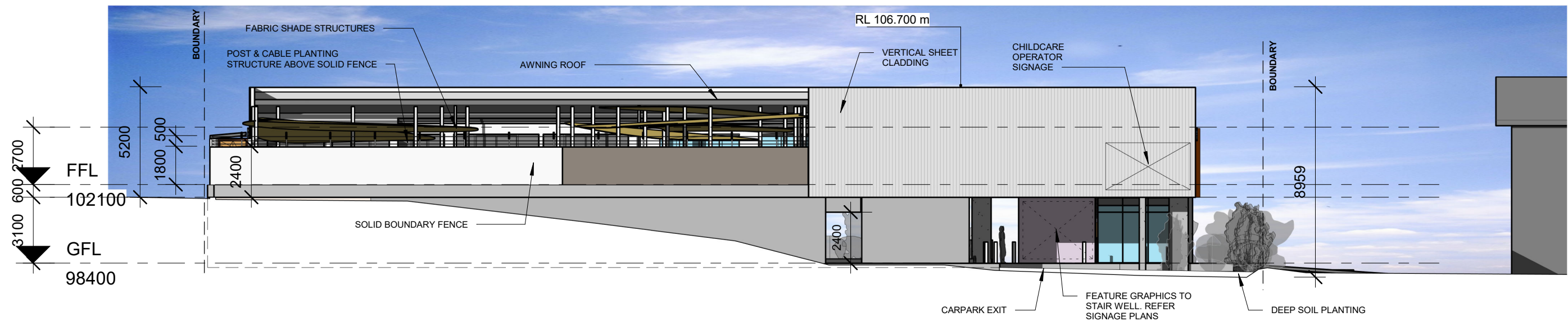
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RAINSFORD
ARCHITECTURE
+ DESIGN
R(AD)

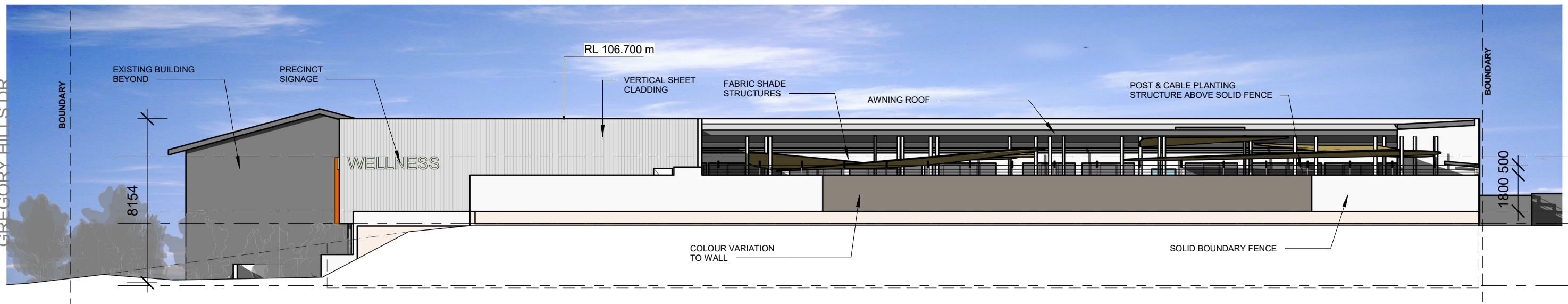
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DRAWINGS FOR FEATURE WALL DETAIL,
SIGNAGE DETAIL AND CROSSING DETAIL



1

Northeast

1 : 200



2

Southeast

1 : 200

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1 : 200

A201

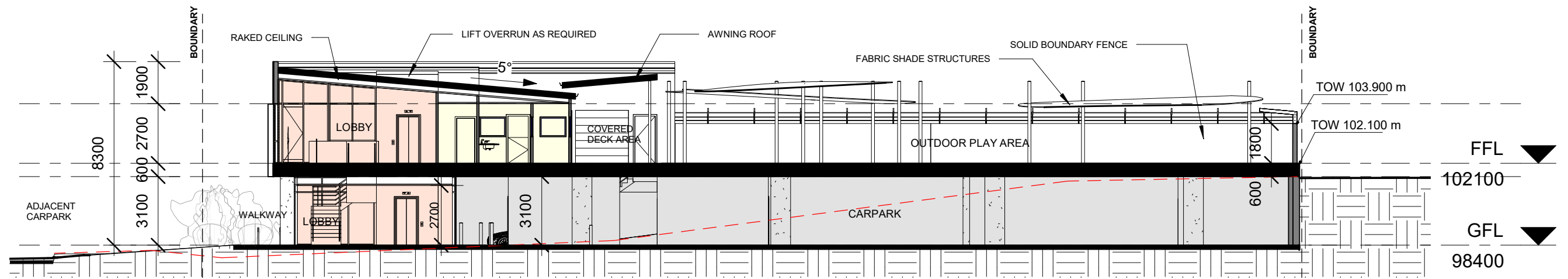
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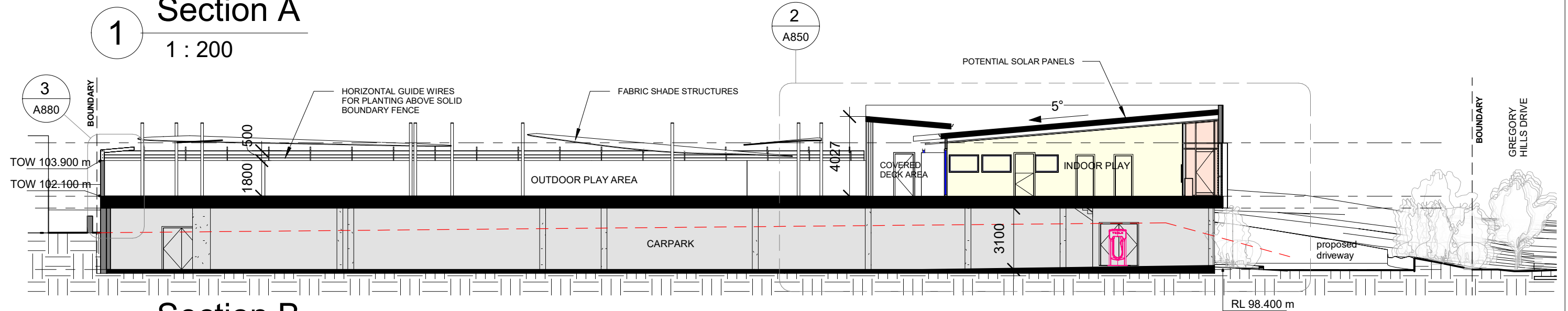
RAINSFORD
ARCHITECTURE
+ DESIGN



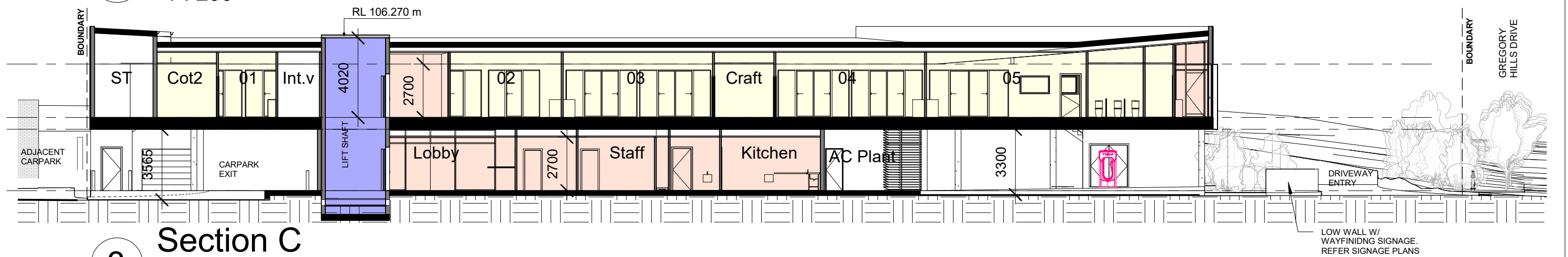
0m 1m 2m 3m 5m 10m 20m
SCALE 1:200



1 Section A
1 : 200



2 Section B
1 : 200



3 Section C
1 : 200

NOT FOR
CONSTRUCTION

Check all dimensions and site conditions prior to the commencement of any work, the purchase or ordering of any materials, fittings, plant, services or equipment and the preparation of shop drawings and / or the fabrication of any components.

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Rev	Description	Date
K	Concept Design	31.03.2023
L	Issued for Pre-DA	20.04.2023
N	Issued for review	28.06.2023
O	Draft DA for Review	24.07.2023
P	Revised Draft DA	01.08.2023
Q	Issued for DA	22.08.2023
R	Amended for DA	08.12.2023

Soma Stage 3 - Childcare Centre

9 Gregory Hills Dr, Gledswood Hills

Sections

Soma

PROJECT NUMBER

DATE

2023-0170

August 2023

STATUS

DRAWN BY

SCALE

REVISION R

DRAWING NO.

Development Application

BR

1 : 200

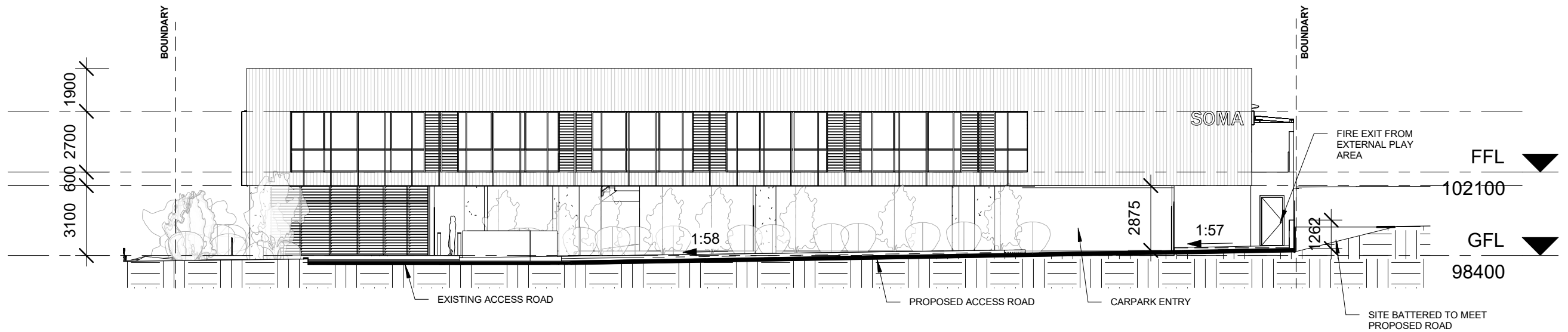
A300

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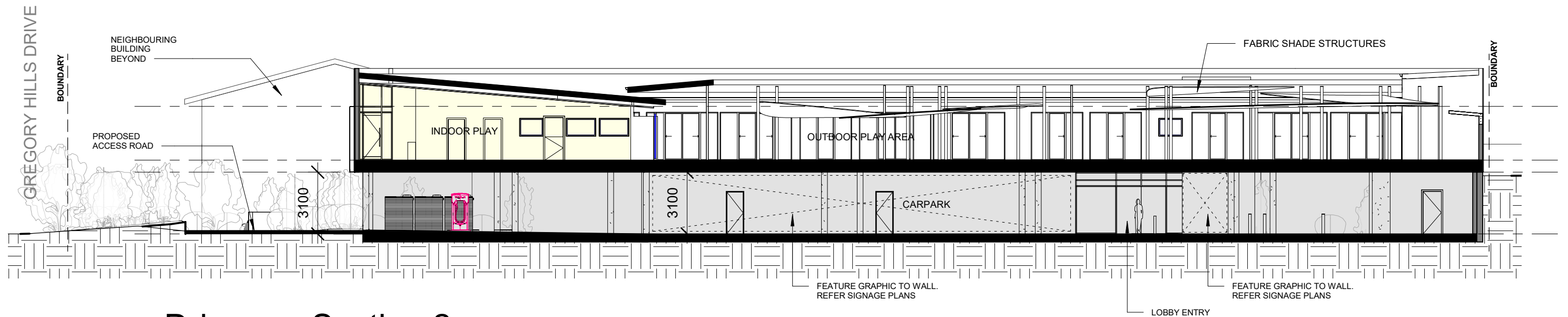
ABN 70 619 983 023



0m 1m 2m 3m 5m 10m 20m
SCALE 1:200



1 Driveway Section 1
1 : 200



2 Driveway Section 2
1 : 200

**NOT FOR
CONSTRUCTION**

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Rev	Description	Date
N	Issued for review	28.06.2023
O	Draft DA for Review	24.07.2023
P	Revised Draft DA	01.08.2023
Q	Issued for DA	22.08.2023
R	Amended for DA	08.12.2023

Soma Stage 3 - Childcare Centre

9 Gregory Hills Dr, Gledswood Hills

Sections

Soma

PROJECT NUMBER

DATE

2023-0170

August 2023

STATUS

DRAWN BY

SCALE

REVISION R

DRAWING NO.

Development Application

BR

1 : 200

A301

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ABN 70 619 983 023



0m 1m 2m 3m 5m 10m 20m
SCALE 1:200



METAL DECK CLADDING, VERTICAL STANDING SEAM
COLOUR - LIGHT



VERTICAL BLADE SUNSHADES
COLOUR - ORANGE



LARGE FORMAT WINDOW DECALS
REFER SIGANGE PLANS



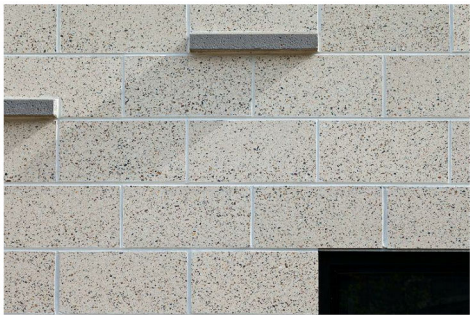
NORTHERN ENTRY

HONED BLOCKWORK WALLS

FEATURE GRAPHICS TO INTERNAL COLUMNS
REFER TO SIGNAGE PLANS

ALUMINIUM FRAMED SHOPFRONT GLAZING

LARGE FORMAT FEATURE GRAPHICS TO WALL
REFER SIGNAGE PLANS



Rev	Description	Date
J	Prelim Concept Design	29.03.2023
K	Concept Design	31.03.2023
L	Issued for Pre-DA	20.04.2023
N	Issued for review	28.06.2023
O	Draft DA for Review	24.07.2023
P	Revised Draft DA	01.08.2023
Q	Issued for DA	22.08.2023
R	Amended for DA	08.12.2023

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Soma Stage 3 - Childcare Centre

9 Gregory Hills Dr, Gledswood Hills

Soma

Materials Schedule

PROJECT NUMBER 2023-0170

DATE August 2023

STATUS Development Application

DRAWN BY BR

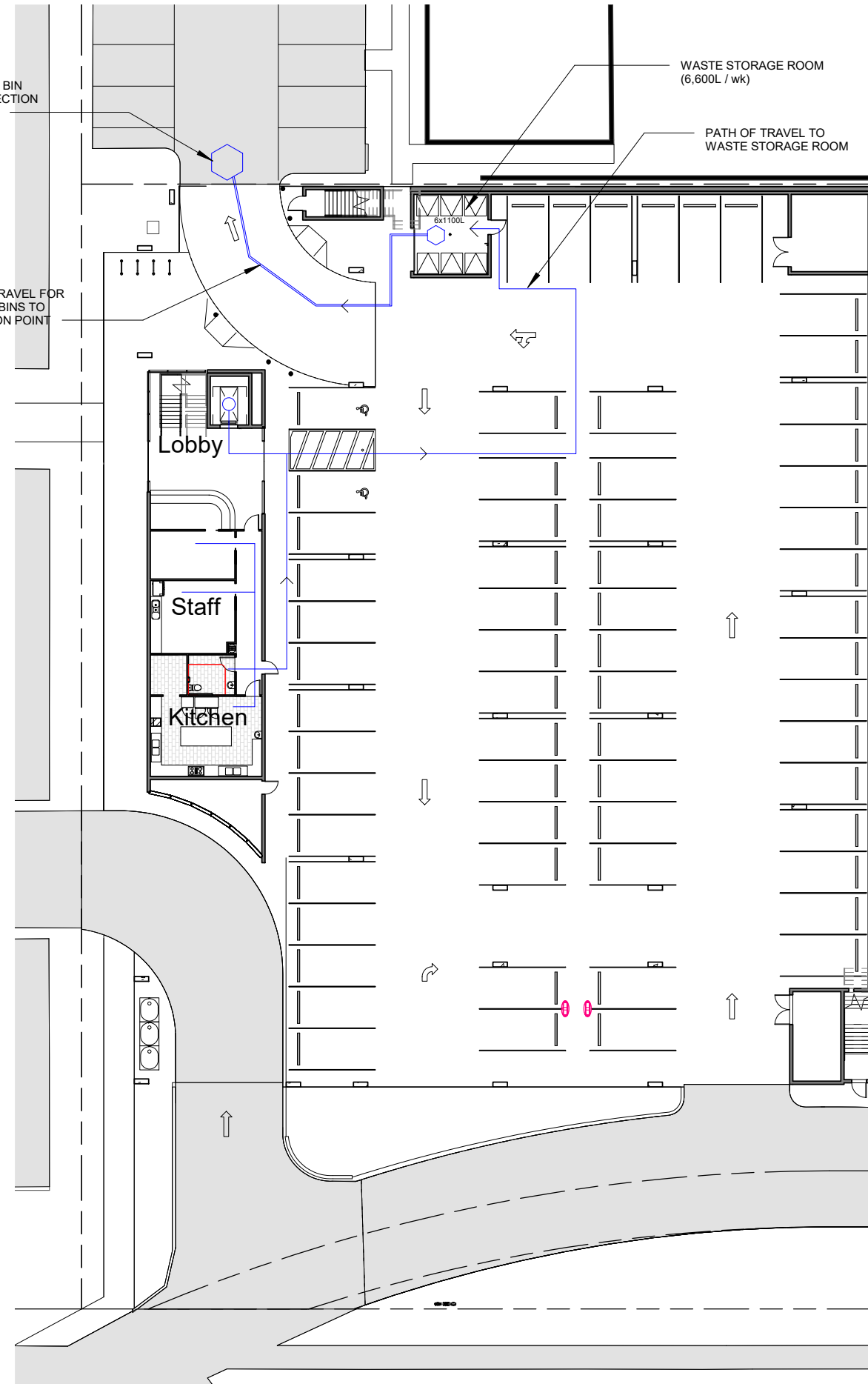
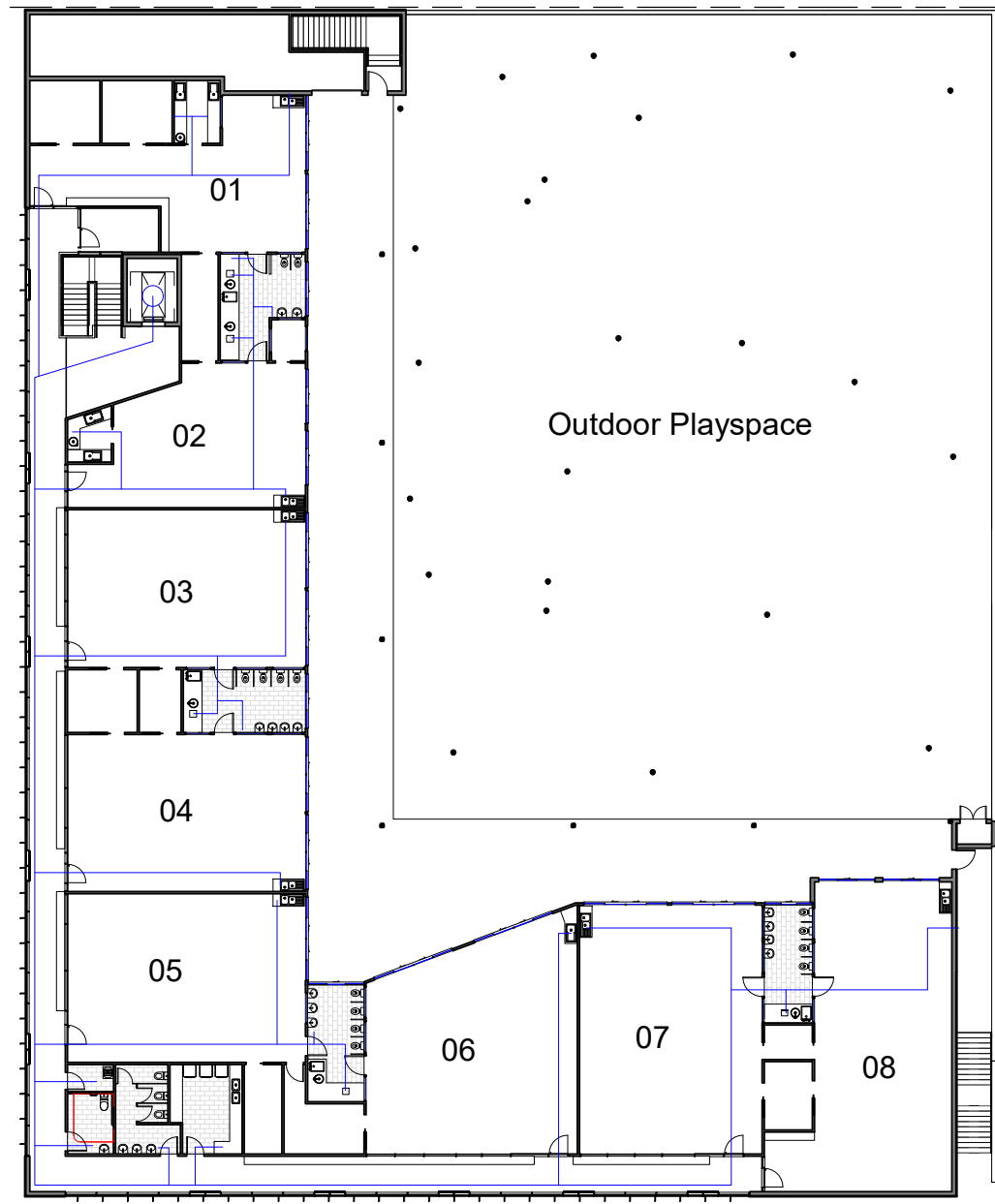
SCALE

DRAWING NO.

REVISION R **A700**



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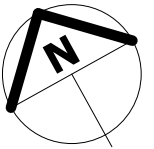


INDICATIVE ONLY - SUBJECT TO BCA
CONSULTANT CONFIRMATION

1 L1 Bin Path
1 : 350

2 GFL Bin Path
1 : 350

Rev	Description	Date
N	Issued for review	28.06.2023
O	Draft DA for Review	24.07.2023
P	Revised Draft DA	01.08.2023
Q	Issued for DA	22.08.2023
R	Amended for DA	08.12.2023



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Soma Stage 3 - Childcare Centre

9 Gregory Hills Dr, Gledswood Hills

Soma

Bin Path Plans

PROJECT NUMBER 2023-0170

DATE August 2023

STATUS Development Application

DRAWN BY BR

SCALE 1 : 350

DRAWING NO.

REVISION R **A860**



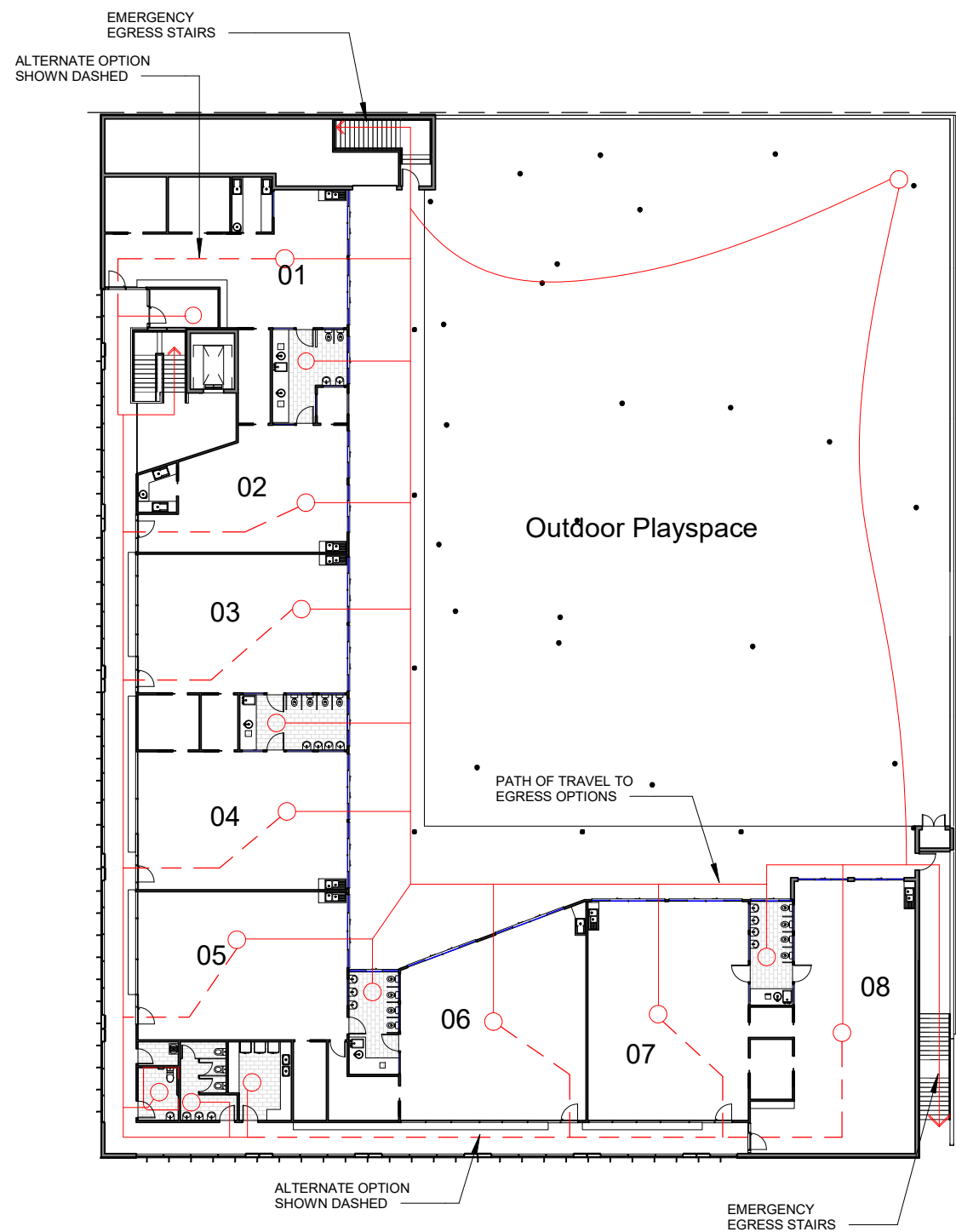
ABN 70 619 983 023

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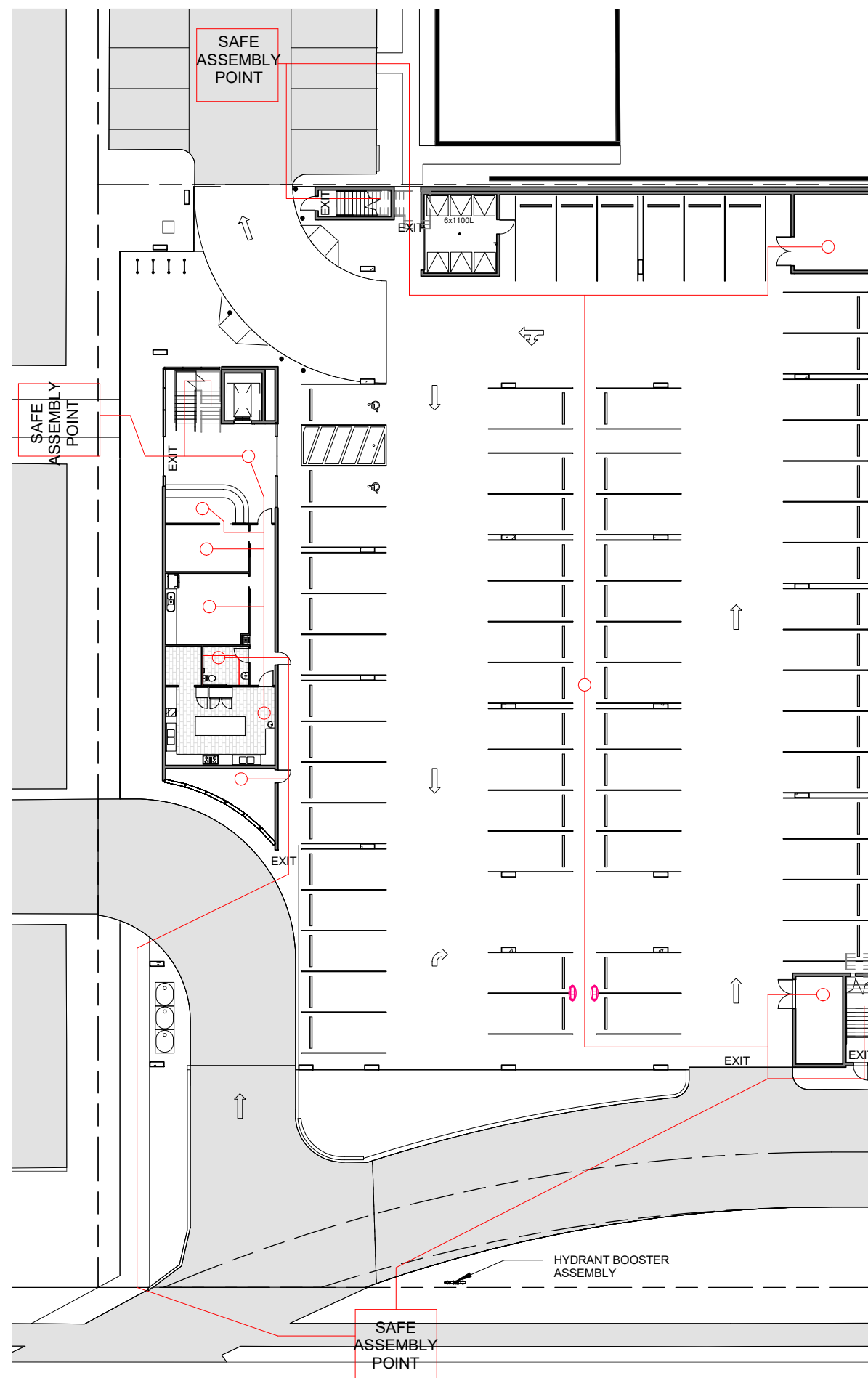
e. studio@r-ad.com.au

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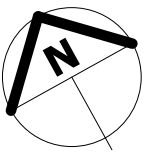


1 L1 Egress
1 : 350



2 GFL Egress

Rev	Description	Date
N	Issued for review	28.06.2023
O	Draft DA for Review	24.07.2023
P	Revised Draft DA	01.08.2023
Q	Issued for DA	22.08.2023
R	Amended for DA	08.12.2023



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Soma Stage 3 - Childcare
Centre

9 Gregory Hills Dr, Gledswood Hills

Soma

Egress Path Plans

PROJECT NUMBER	2023-0170
DATE	August 2023
STATUS	Development Application
DRAWN BY	BR
SCALE	1 : 350
DRAWING NO.	
REVISION	R

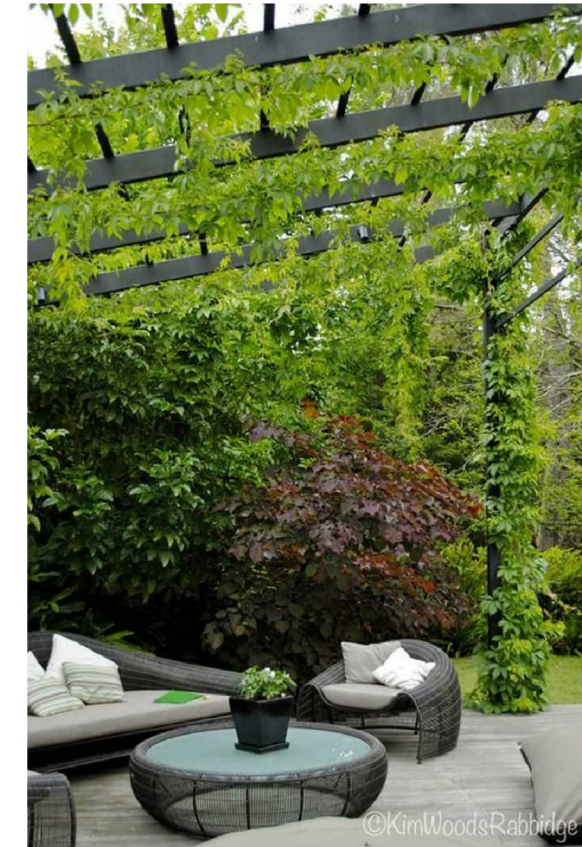
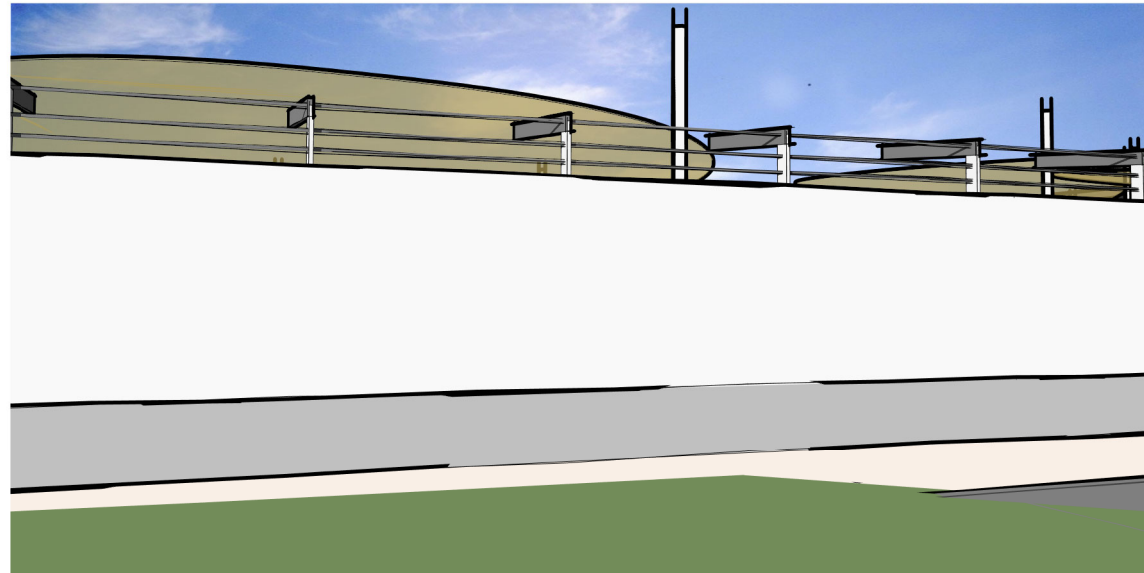
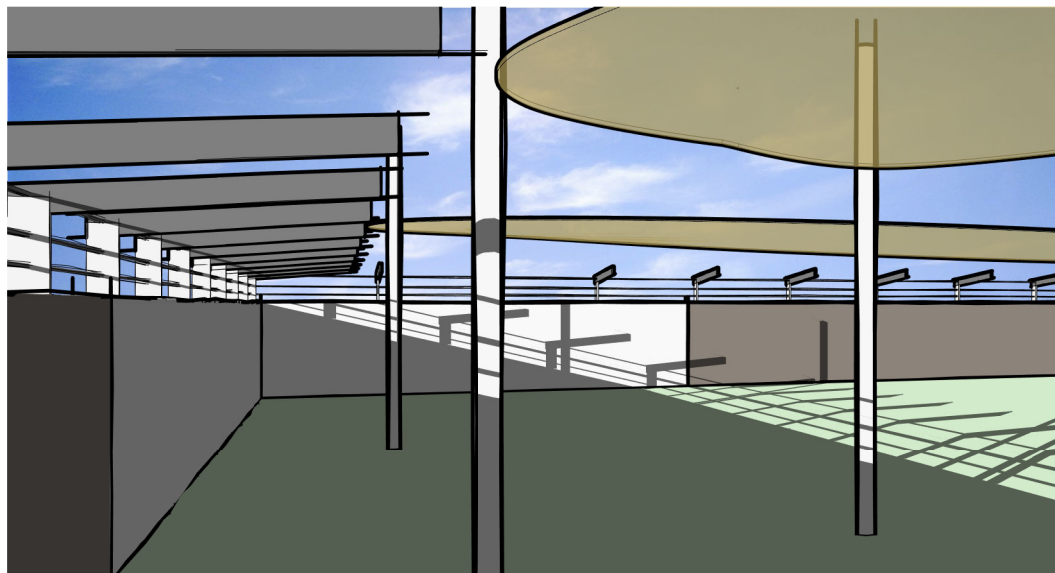
A870

RAINSFORD
ARCHITECTURE
+DESIGN

R(AD)

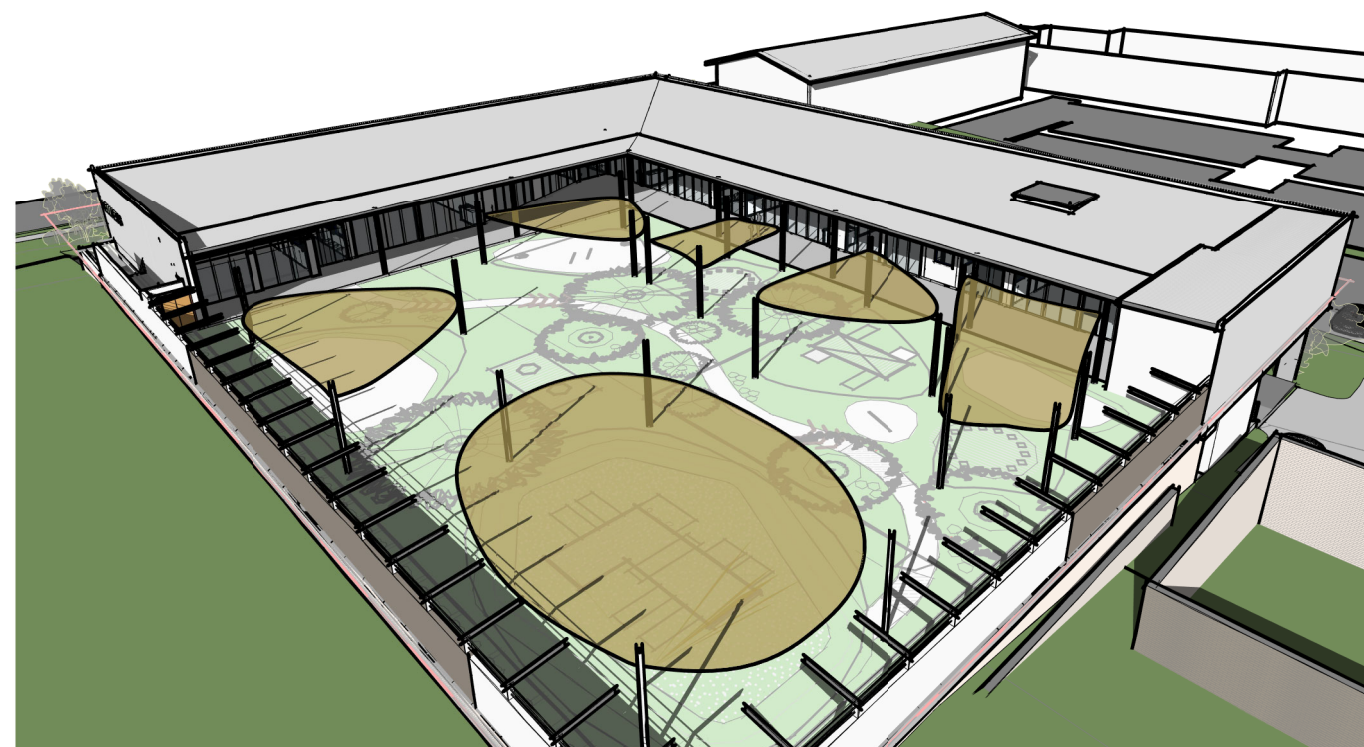
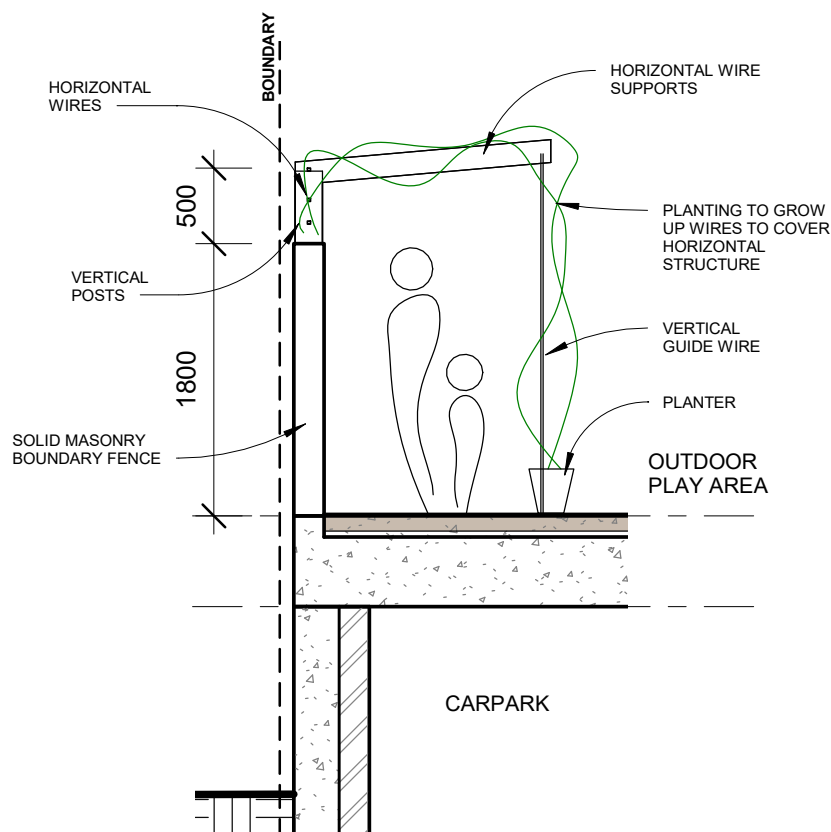
ABN 70 619 983 023

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1 Playground 2

2 From Adjacent Property



3 Boundary Section
1 : 50

4 Southeast Aerial

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CONSTRUCTION

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Rev	Description	Date
M	Issued for Information	31.05.2023
N	Issued for review	28.06.2023
O	Draft DA for Review	24.07.2023
P	Revised Draft DA	01.08.2023
Q	Issued for DA	22.08.2023
R	Amended for DA	08.12.2023

Soma Stage 3 - Childcare Centre

9 Gregory Hills Dr, Gledswood Hills
Boundary Fence Detail

Soma

PROJECT NUMBER

DATE

2023-0170

August 2023

STATUS

DRAWN BY

SCALE

REVISION R

DRAWING NO.

Development Application

BR

1 : 50

A880

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ABN 70 619 983 023





NORTH



NORTHWEST (GREGORY HILLS DRIVE)



SOUTHWEST (GREGORY HILLS DRIVE)

Rev	Description	Date
N	Issued for review	28.06.2023
O	Draft DA for Review	24.07.2023
P	Revised Draft DA	01.08.2023
Q	Issued for DA	22.08.2023
R	Amended for DA	08.12.2023

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Soma Stage 3 - Childcare Centre

9 Gregory Hills Dr, Gledswood Hills

Soma

Perspectives

PROJECT NUMBER 2023-0170

DATE August 2023

STATUS Development Application

DRAWN BY BR

SCALE

DRAWING NO.

REVISION R A900



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M A
A T

SOMA
Stage 3

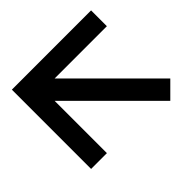
Signage
Design Drawings

Issue for Review
19.12.23

ABCDEFGHIJKLMNOPQRSTUVWXYZ

abcdefghijklmnopqrstuvwxyz

Wayfinding Typical application



Health & Wellness

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Scale
As shown at A3

Issue
Issue for Review

Revisions
A 07.12.23 Issue for DA
B 19.12.23 Issue for Review

Project no.
SOMA2395

Drawing
Typography

Date
06.12.23

Project
SOMA
Stage 3

Drawn/Checked
BA/JM


Signtype
-

Drawing number
SOMA2395-GEN-002


Revision
B




SOMA Stage 3 Supergraphic palette




Supergraphic Pink
C6 M69 Y0 K0




Supergraphic Orange
C2 M63 Y91 K0




Supergraphic Yellow
C0 M25 Y99 K0



Supergraphic Green
C89 M32 Y94 K22




Supergraphic Lilac
C10 M21 Y0 K0

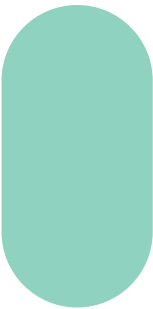


Supergraphic Neutral
C0 M5 Y10 K0


SOMA Brand palette



SOMA Yellow
C0 M25 Y99 K0

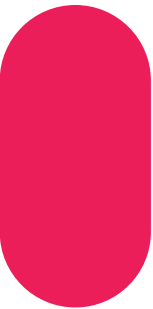


SOMA Teal
C43 M0 Y30 K0




SOMA Green
C50 M5 Y100 K0

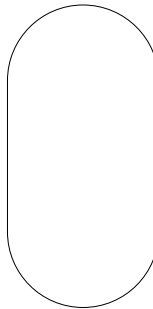
Raising Stars Brand palette



Raising Stars Pink
C1 M99 Y52 K0



Raising Stars Yellow
C1 M18 Y96 K0

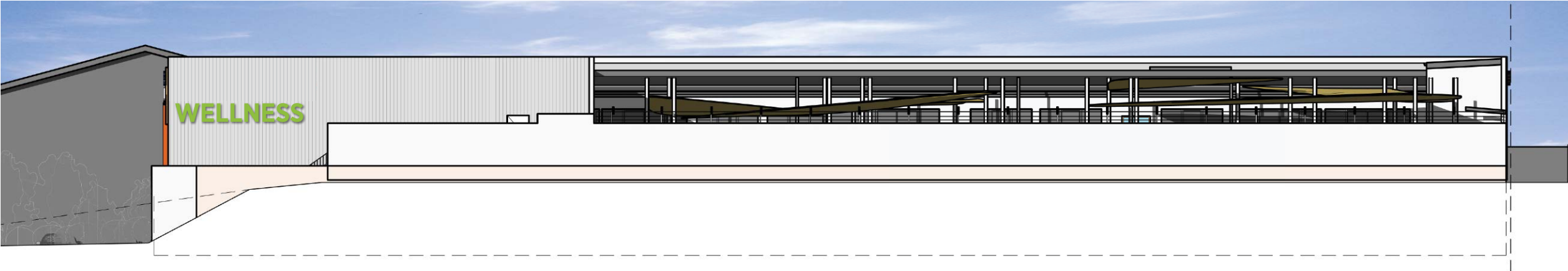


Raising Stars White
PMS White
C0 M0 Y0 K0
Dulux Vivid White

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01 SW Elevation
 Gregory Hills Dr-facing facade
 Scale 1:200



02 SE Elevation
 Scale 1:200



03 NW Elevation
 SOMA-facing facade
 Scale 1:200

Notes

PURPOSE

The internally illuminated signs are located on the building facade at high level facing vehicular traffic approaching, and along Gregory Hills Drive and within the SOMA precinct. The signs provide identification for the SOMA Health & Wellness precinct. They are located in relation to key building features and scaled to suit the scale of the facility and long distance viewing for day and night time.

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Scale
 As shown at A3

Issue
 Issue for Review

Revisions

A 07.12.23 Issue for DA
 B 19.12.23 Issue for Review

Project no.
 SOMA2395

Drawing
 Precinct Identification

Date
 06.12.23

Project
 SOMA Stage 3

Drawn/Checked
 BA/JM

Signtype
 I.1

Drawing number
SOMA2395-I1-001

Revision
B



03 Type detail
800mm cap height
Scale 1:20



02 3D
NTS

04 Reference
Fabricated
internally-
illuminated
letters



Notes

PURPOSE
The internally illuminated signs are located on the building facade at high level facing vehicular traffic approaching, and along Gregory Hills Drive. The signs provide identification for the SOMA Health & Wellness precinct.

MATERIALITY
Approximately 100mm deep 3D fabricated letters. Formed up aluminium boxes, with painted aluminium sides and back & acrylic front face. On internal backing to letters to be Celuka panel with LED's fitted to provide an even glow, no hot spots, at night.

FABRICATION
To be rear conceal permanent fixed to base building. All power to be internal and concealed from view through conduits at fixing points to the building.

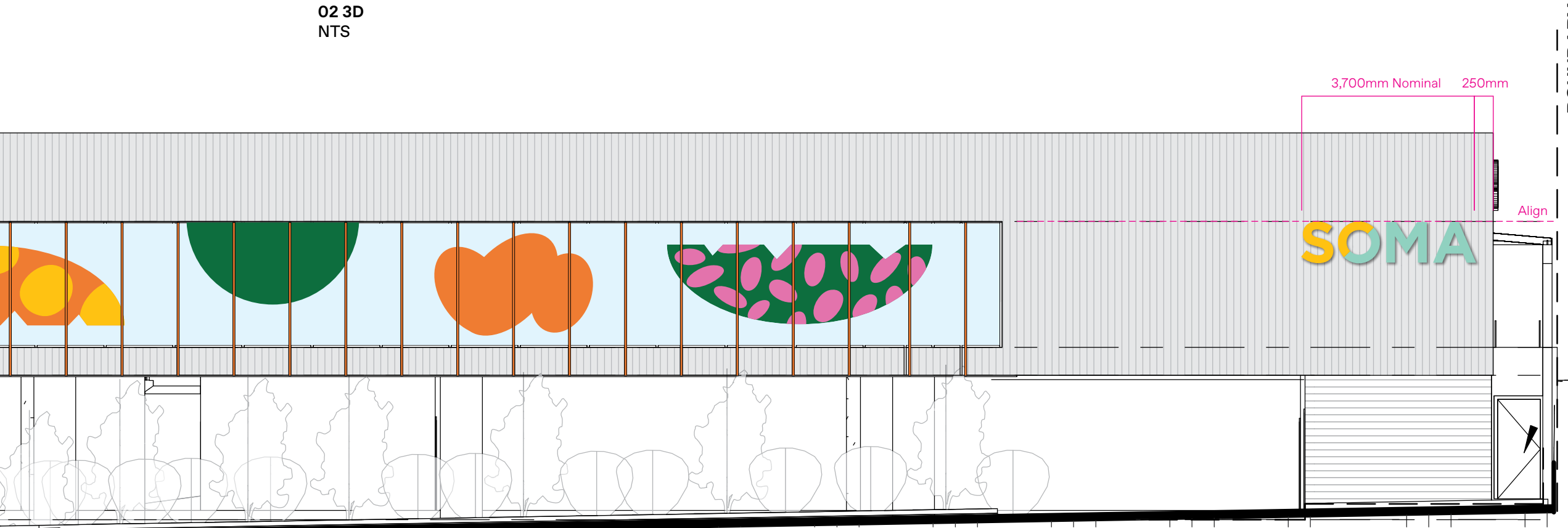
ILLUMINATION
LED's to be bright warm white Saled Samsung or similar. To have have dimmer control to adjust light output and be linked to building operating systems to allow timer control/switch off.

FINISHES/COLOUR
As illustrated
For colour specification refer Graphic standards

To be two pack polyurethane, external grade paint system to all metal surfaces. Anti-graffiti satin clear coat spray finish 25% gloss level to all exposed surfaces.

GRAPHICS
Digital print direct to acylic panels, colour/graphic as illustrated. All fabricated lettering/forms shall be sharp and true to the selected typeface.

Area SOMA: 3m2
Area WELLNESS: 4.35m2



01 Part SW Elevation
Gregory Hills Dr-facing facade
Scale 1:100

NOT FOR CONSTRUCTION

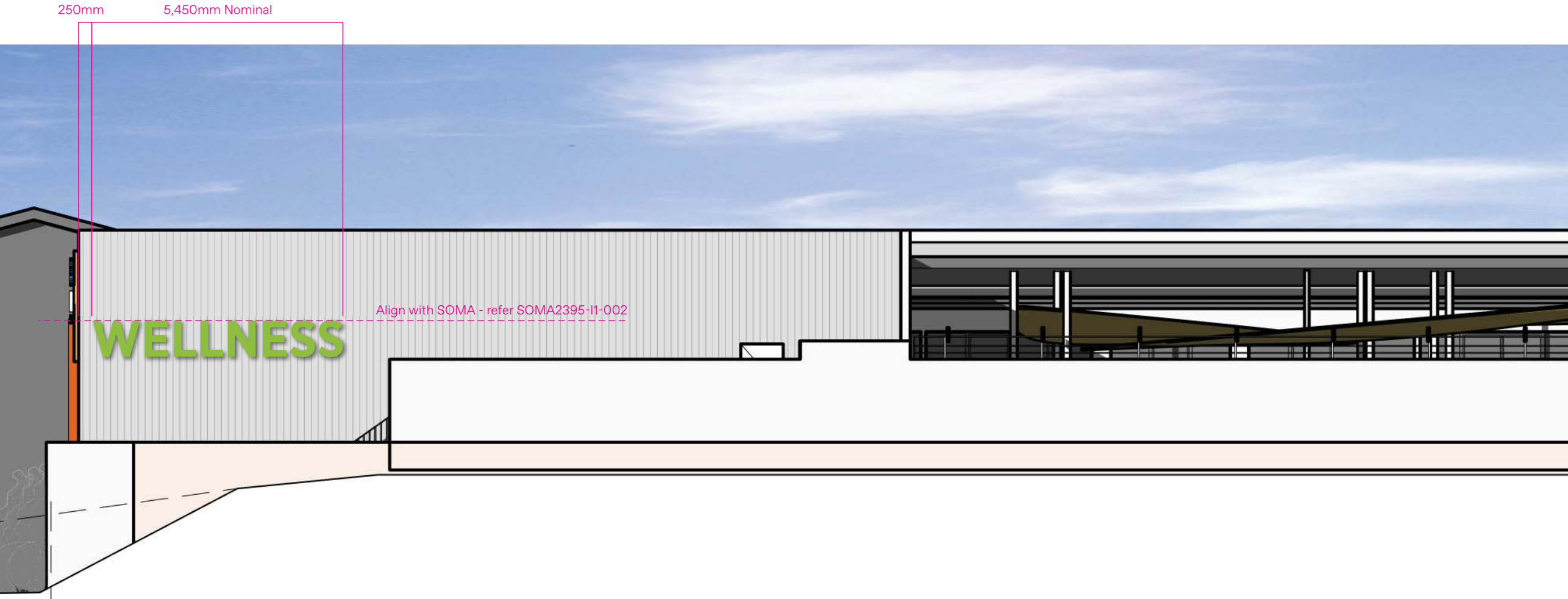
W

02 Type detail
800mm cap height
Scale 1:20



03 3D
NTS

Notes
Refer drawing SOMA2395-I1-002



01 Part SE Elevation
Scale 1:100

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Scale
As shown at A3

Issue
Issue for
Review

Revisions
A 07.12.23 Issue for DA
B 19.12.23 Issue for Review

Project no.
SOMA2395

Drawing
Precinct
Identification

Date
06.12.23

Project
SOMA
Stage 3

Drawn/Checked
BA/JM

Signtype
I.1

Drawing number
SOMA2395-I1-003

Revision
B



02 Type detail
600mm cap height
Scale 1:20

SOMA WELLNESS

3D
600mm cap height
NTS



01 Part NW Elevation
SOMA-facing facade
Scale 1:200

Notes

PURPOSE

The internally illuminated signs are located on the building facade at high level facing the SOMA precinct and carpark. The signs provide identification for the SOMA Health & Wellness precinct.

MATERIALITY

Approximately 100mm deep 3D fabricated letters. Formed up aluminium boxes, with painted aluminium sides and back & acrylic front face. On internal backing to letters to be Celuka panel with LED's fitted to provide an even glow, no hot spots, at night.

FABRICATION

To be rear conceal permanent fixed to base building. All power to be internal and concealed from view through conduits at fixing points to the building.

ILLUMINATION

LED's to be bright warm white Saled Samsung or similar. To have dimmer control to adjust light output and be linked to building operating systems to allow timer control/switch off.

FINISHES/COLOUR

As illustrated
For colour specification refer Graphic standards

To be two pack polyurethane, external grade paint system to all metal surfaces. Anti-graffiti satin clear coat spray finish 25% gloss level to all exposed surfaces.

GRAPHICS

Digital print direct to acrylic panels, colour/graphic as illustrated. All fabricated lettering/forms shall be sharp and true to the selected typeface.

Area SOMA WELLNESS: 3.3m2

NOT FOR CONSTRUCTION

M >
A T

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Scale
As shown at A3

Issue
Issue for
Review

Revisions
A 07.12.23 Issue for DA
B 19.12.23 Issue for Review

Project no.
SOMA2395

Drawing
Precinct
Identification

Date
06.12.23

Project
SOMA
Stage 3

Drawn/Checked
BA/JM

Signtype
I.1

Drawing number
SOMA2395-I1-004

Revision
B

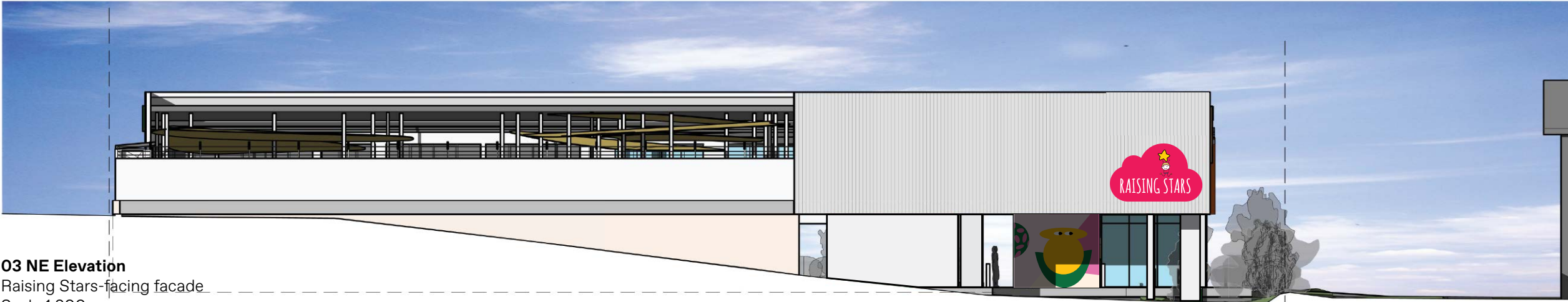
I.1



01 SW Elevation
 Gregory Hills Dr-facing facade
 Scale 1:200



02 NW Elevation
 SOMA-facing facade
 Scale 1:200



03 NE Elevation
 Raising Stars-facing facade
 Scale 1:200

Notes

PURPOSE
 The internally illuminated signs are located on the building facade at high level facing vehicular traffic approaching, and along Gregory Hills Drive and from approach off Digitaria Drive. The signs provide identification for Raising Stars Early Learning. They are located in relation to key building features and scaled to suit the scale of the facility and long distance viewing for day and night time.

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Scale
 As shown at A3

Issue
 Issue for Review

Revisions
 A 07.12.23 Issue for DA
 B 19.12.23 Issue for Review

Project no.
 SOMA2395

Drawing
 Building Identification

Date
 06.12.23

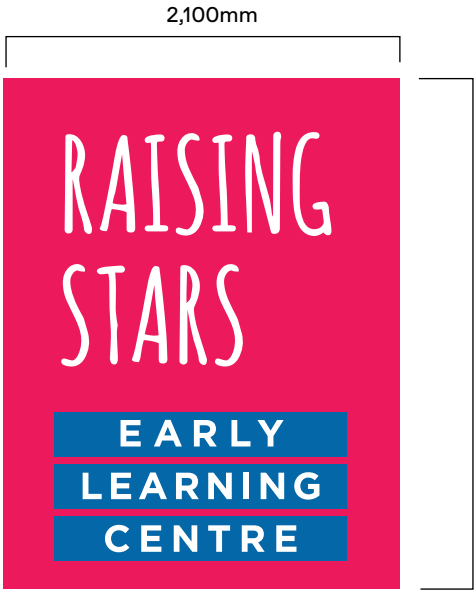
Project
 SOMA Stage 3

Drawn/Checked
 BA/JM

Signtype
 I.2

Drawing number
SOMA2395-I2-001

Revision
B



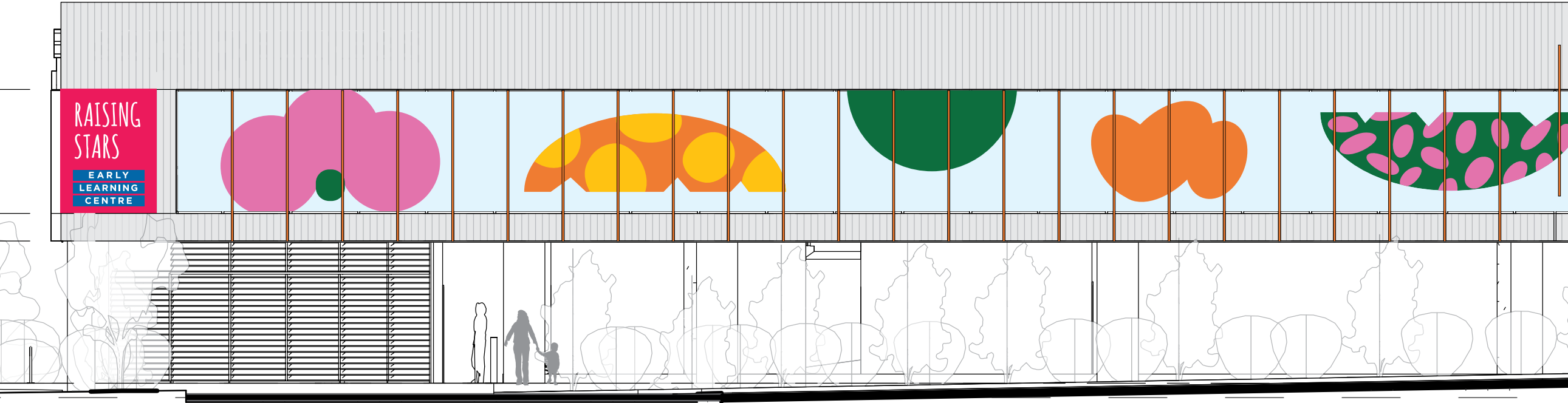
02 Elevation
Scale 1:50



03 Detail
650mm cap height
Scale 1:20



04 Detail
175mm cap height
Scale 1:20



01 Part SW Elevation
Gregory Hills Dr-facing facade
Scale 1:100

Notes

PURPOSE
The internally illuminated sign is located on the building facade at high level facing vehicular traffic along Gregory Hills Drive and on approach at the primary vehicular entry to the facility. The signs provide identification for the childcare.

MATERIALITY
Approximately 100mm deep 3D fabricated signbox. Formed up aluminium box, with painted aluminium sides and back & acrylic front face. On internal backing to signbox to be Celuka panel with LED's fitted to provide an even glow, no hot spots, at night.

FABRICATION
To be rear conceal permanent fixed to base building. All power to be internal and concealed from view through conduits at fixing points to the building.

ILLUMINATION
LED's to be bright warm white Saled Samsung or similar. To have have dimmer control to adjust light output and be linked to building operating systems to allow timer control/switch off.

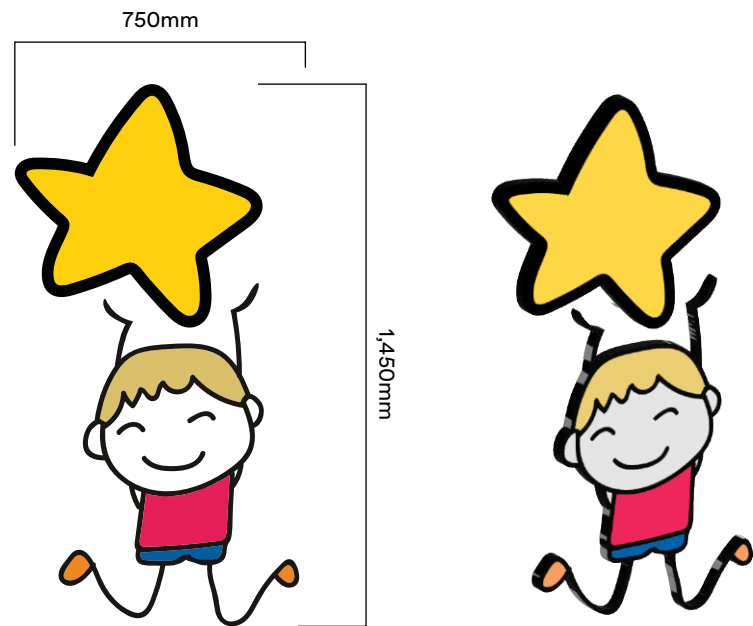
FINISHES/COLOUR
As illustrated
For colour specification refer Graphic standards

To be two pack polyurethane, external grade paint system to all metal surfaces. Anti-graffiti satin clear coat spray finish 25% gloss level to all exposed surfaces.

GRAPHICS
Digital print direct to acylic panel, colour/graphic as illustrated. All printed lettering/forms shall be sharp and true to the selected typeface.

Area: 5.67m2

NOT FOR CONSTRUCTION



02 Detail elevation
Scale 1:20

03 3D
NTS



01 Part NW Elevation
SOMA-facing facade
Scale 1:100

Notes

PURPOSE

The sign is located on the building facade at high level facing the SOMA precinct and carpark. The graphic provides identification for the childcare through the animation.

MATERIALITY

2mm painted Aluminium sign panel water jet cut to form illustrated with digital print graphics direct to sign panel. Rear conceal adhesive fixed to building substrate.

FINISHES/COLOUR

As illustrated
For colour specification refer Graphic standards

To be two pack polyurethane, external grade paint system to all metal surfaces. Anti-graffiti satin clear coat spray finish 25% gloss level to all exposed surfaces.

GRAPHICS

Digital print graphic direct to painted sign panel, as illustrated on elevation and noted in documentation. All lettering/forms shall be sharp and true to the selected typeface.

Area: 1.1m2

NOT FOR CONSTRUCTION

M A
A T

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Scale
As shown at A3

Issue
Issue for
Review

Revisions
A 07.12.23 Issue for DA
B 19.12.23 Issue for Review

Project no.
SOMA2395

Drawing
Building
Identification

Date
06.12.23

Project
SOMA
Stage 3

Drawn/Checked
BA/JM

Signtype
I.2

Drawing number
SOMA2395-I2-003

Revision
B



02 Detail elevation
Scale 1:50

STARS

03 Type detail
625mm cap height
Scale 1:20



01 Part NE Elevation
Raising Stars-facing facade
Scale 1:100

Notes

PURPOSE
The internally illuminated sign is located on the building facade at high level facing vehicular traffic on Digitaria Drive and the ongrade carpark in the foreground. The sign provides identification for the childcare.

MATERIALITY
Approximately 100mm deep 3D fabricated signbox. Formed up aluminium box to shape illustrated, with painted aluminium sides and back & acrylic front face. On internal backing to signbox to be Celuka panel with LED's fitted to provide an even glow, no hot spots, at night.

FABRICATION
To be rear conceal permanent fixed to base building. All power to be internal and concealed from view through conduits at fixing points to the building.

ILLUMINATION
LED's to be bright warm white Saled Samsung or similar. To have have dimmer control to adjust light output and be linked to building operating systems to allow timer control/switch off.

FINISHES/COLOUR
As illustrated
For colour specification refer Graphic standards

To be two pack polyurethane, external grade paint system to all metal surfaces. Anti-graffiti satin clear coat spray finish 25% gloss level to all exposed surfaces.

GRAPHICS
Digital print direct to acylic panel, colour/graphic as illustrated. All printed lettering/forms shall be sharp and true to the selected typeface.

Area: 9m2

NOT FOR CONSTRUCTION

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Scale
As shown at A3

Issue
Issue for Review

Revisions
A 07.12.23 Issue for DA
B 19.12.23 Issue for Review

Project no.
SOMA2395

Drawing
Building Identification

Date
06.12.23

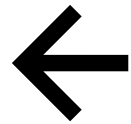
Project
SOMA Stage 3

Drawn/Checked
BA/JM

Signtype
I.2

Drawing number
SOMA2395-I2-004

Revision
B

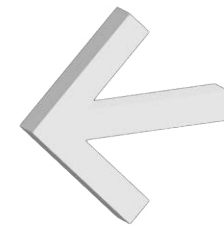


Health & Wellness

02 Type detail
100mm cap height
Scale 1:10

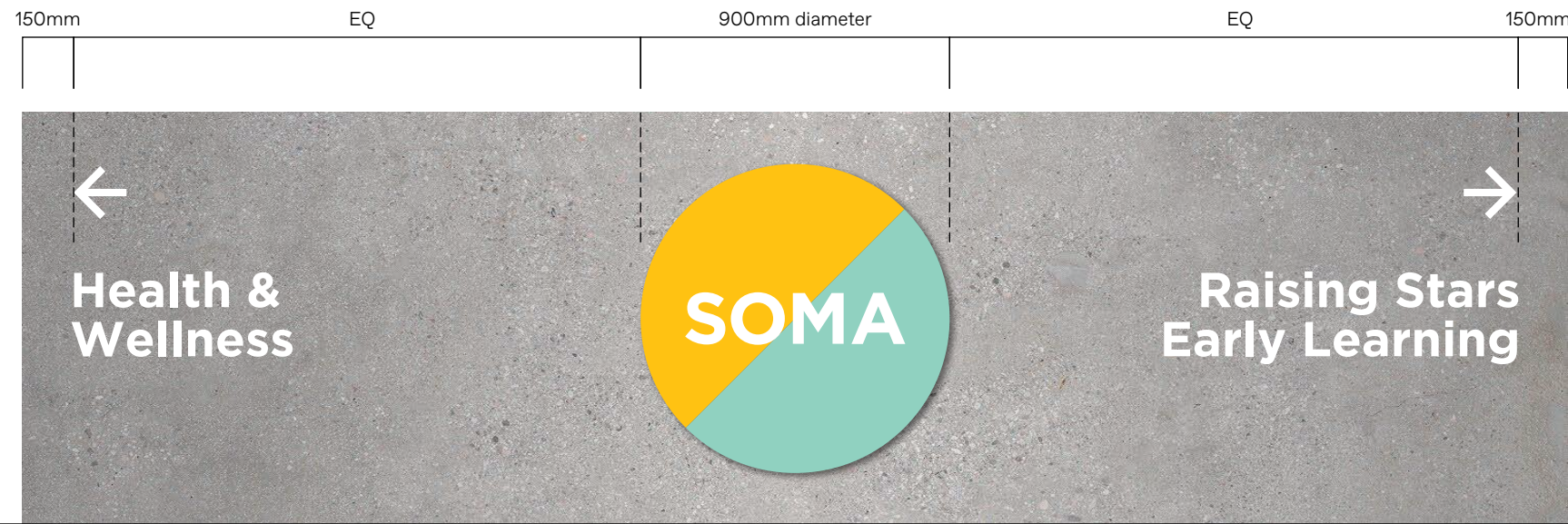
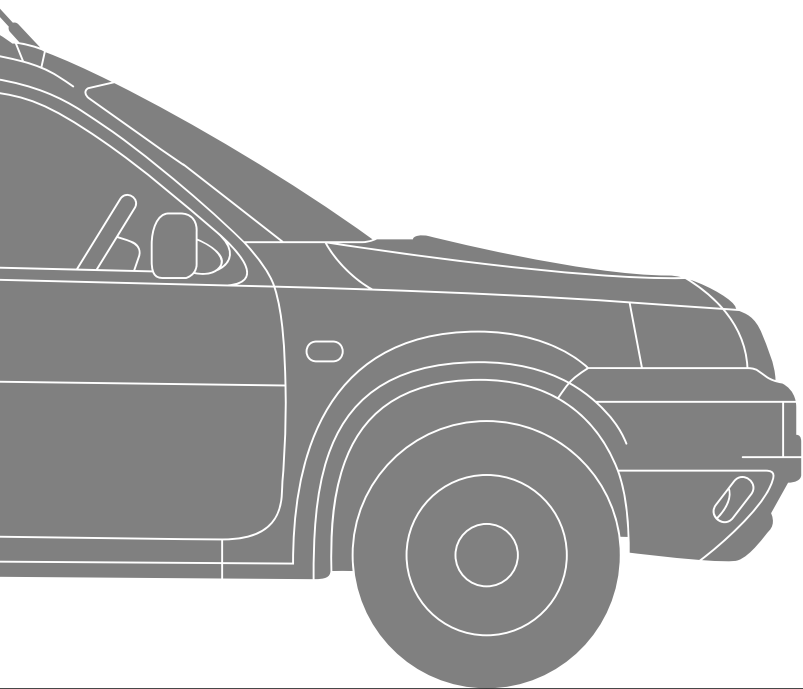
SOMA

03 Logo detail
150mm cap height
Scale 1:10



Health

04 3D
NTS



01 Elevation
Entry-facing low wall
Scale 1:20

Notes

PURPOSE
The signs are located on a low masonry wall facing vehicular traffic approaching from Gregory Hills Drive. The sign provides directional content to assist in wayfinding to the SOMA Health & Wellness precinct and to the Raising Stars Early Learning centre facility.

MATERIALITY
Panel; 2mm painted Aluminium sign panel with digital print graphics direct to painted sign panel.
Letters/arrows; 2mm water jet cut painted Aluminium panel fabricated to form/letter as illustrated.

Rear conceal adhesive fixed to building substrate.

FINISHES/COLOUR
As illustrated

For colour specification refer Graphic standards

To be two pack polyurethane, external grade paint system. Anti-graffiti satin clear coat spray finish 25% gloss level to all exposed surfaces.

GRAPHICS
Panel; Digital print graphic direct to painted sign panel, as illustrated on elevation and noted in documentation.

All lettering/forms shall be sharp and true to the selected typeface.

Area Health & Wellness: 0.35m2
Area SOMA: 0.65m2
Area Raising Stars: 0.6m2

NOT FOR CONSTRUCTION

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Scale
As shown at A3

Issue
Issue for Review

Revisions
A 07.12.23 Issue for DA
B 19.12.23 Issue for Review

Project no.
SOMA2395

Drawing
Precinct
Vehicular
Directional

Date
06.12.23

Project
SOMA
Stage 3

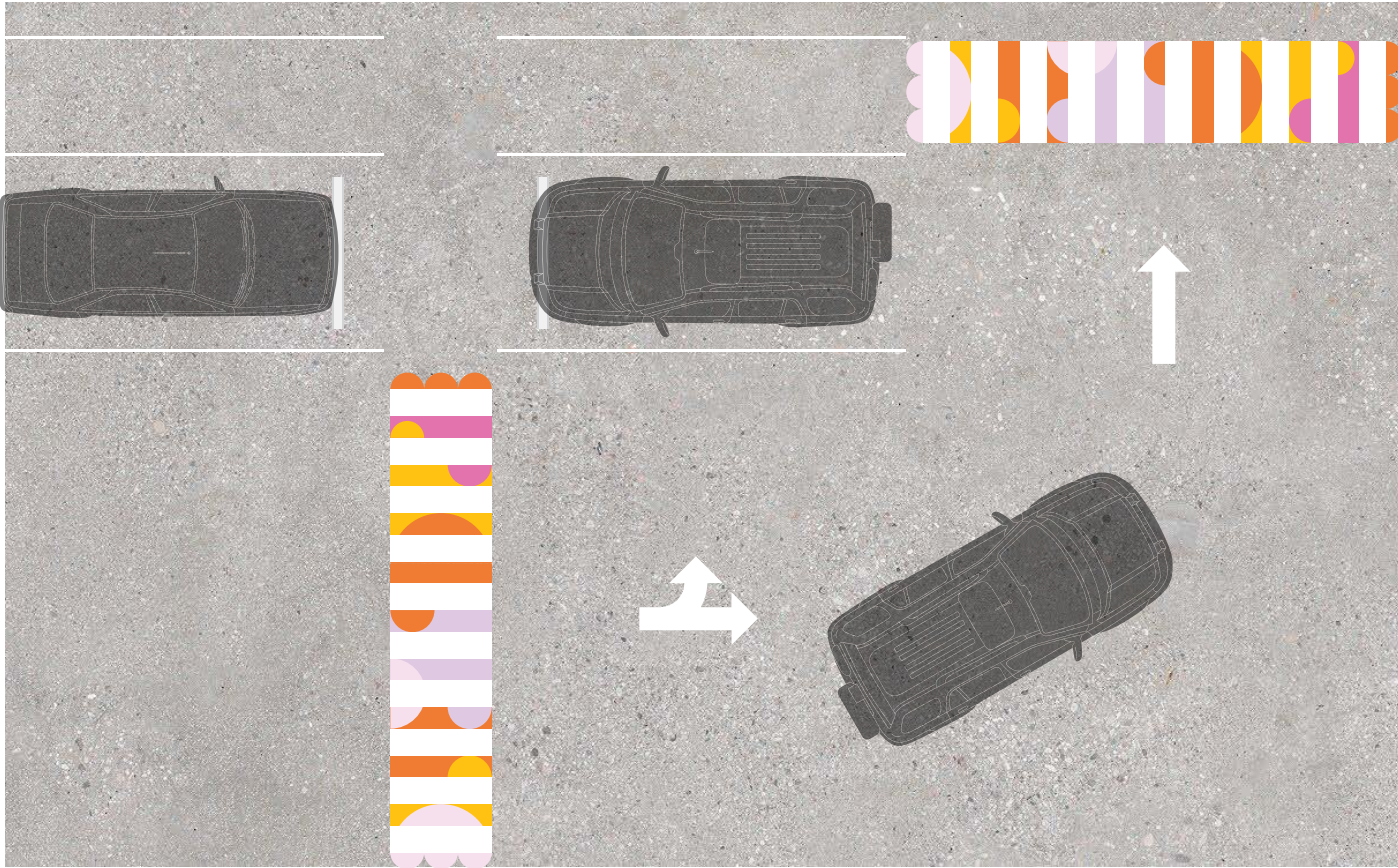
Drawn/Checked
BA/JM

Signtype
D.1

Drawing number
SOMA2395-D1-001

Revision
B

D.1



01 Part plan
Carpark
Scale 1:100

6,550mm Nominal



02 Detail plan
Typical crossing
Scale 1:20

Notes

PURPOSE
The crossing graphics are located at 4 crossings under the building to animate the journey from car to facility. The colour graphics augment the standard white dashed crossing by ‘filling’ in the gaps between the white bands

MATERIALITY
White crossing to be line marking paint to direct to the carpark ground surface, as per architects road markings documentation and as per AS/BCA regulations.

Coloured infill graphics/text to be mask & spray painted with DULUX 2-pak external grade paint system, or similar appropriate for location.

FINISHES/COLOUR
As illustrated

For colour specification refer Graphic standards

White crossing; slip-resistant retro-reflective thermoplastic paint, or as specified by architects.

Coloured infill; two pack polyurethane, external grade paint system. Anti-graffiti satin clear coat spray finish 25% gloss level to all exposed surfaces.

GRAPHICS
Coloured infill graphic to be mask & spray via vinyl cut template and spray painted directly to wall surface.

NOT FOR CONSTRUCTION

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Scale
As shown at A3

Issue
Issue for Review

Revisions
A 07.12.23 Issue for DA
B 19.12.23 Issue for Review

Project no.
SOMA2395

Drawing
Operational Crossing

Date
06.12.23

Project
SOMA Stage 3

Drawn/Checked
BA/JM

Signtype
O.1

Drawing number
SOMA2395-01-001

Revision
B



02 Montage
NTS

- Notes**
- PURPOSE**
The graphics are located on the primary built form at ground level wrapping the solid masonry walls adjacent the glazed entries to the facility. The graphics have a varied scale to respond to long distance viewing on arrival at the site and from the adjacent SOMA Wellness facility, and with detail at low level to engage with the primary users of the facility in close proximity.
- MATERIALITY**
Graphics/text to be mask & spray painted with DULUX 2-pak external grade paint system, or similar appropriate for location
- FINISHES/COLOUR**
As illustrated
- For colour specification refer Graphic standards
- To be two pack polyurethane, external grade paint system. Anti-graffiti satin clear coat spray finish 25% gloss level to all exposed surfaces.
- GRAPHICS**
Graphic to be mask & spray via vinyl cut template and spray painted directly to wall surface.
- Area carpark facing wall: 79m2
- Area end wall: 11m2
- Area SOMA facing wall: 58m2



01 NW Elevation
SOMA-facing wall
Scale 1:50

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Scale
As shown at A3

Issue
Issue for Review

Revisions

A 07.12.23 Issue for DA

B 19.12.23 Issue for Review

Project no.
SOMA2395

Drawing
Arrival feature

Date
06.12.23

Project
SOMA Stage 3

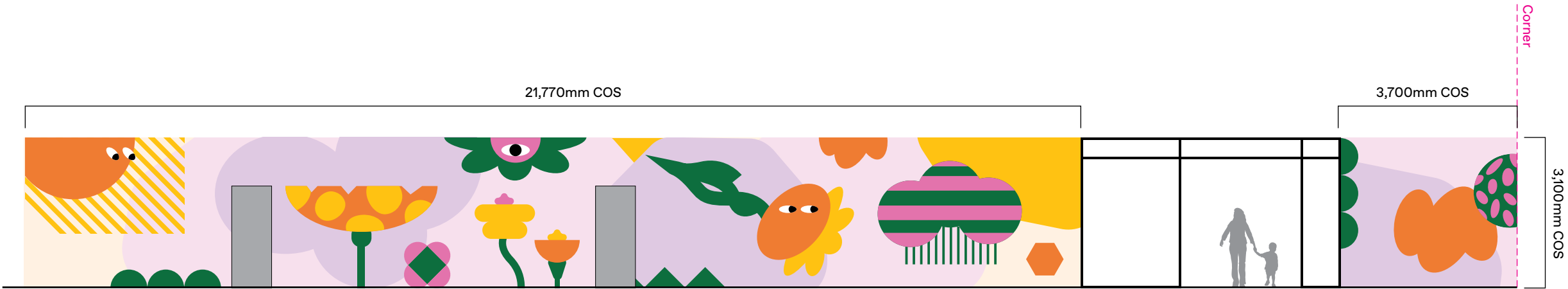
Drawn/Checked
BA/JM

Signtype
P.1

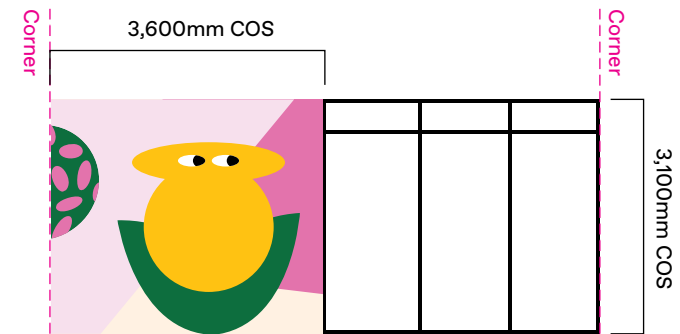
Drawing number
SOMA2395-P1-001

Revision
B

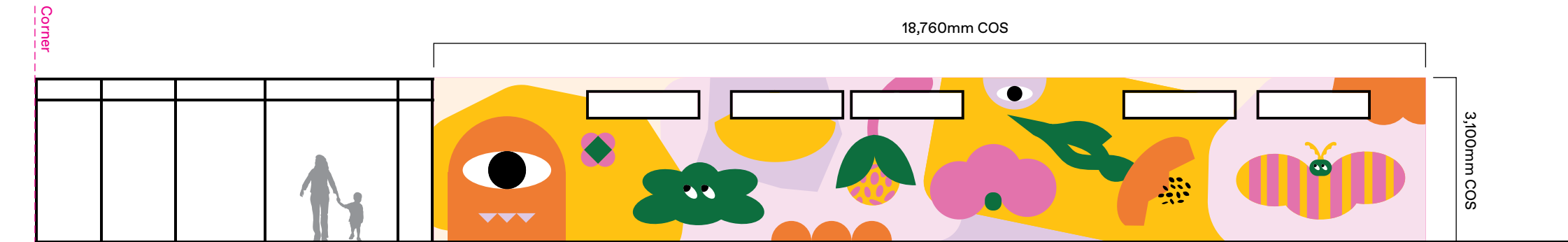
Notes
Refer drawing SOMA2395-P1-001.



01 SE Elevation
Carpark-facing wall
Scale 1:100



02 NE Elevation
End wall
Scale 1:100

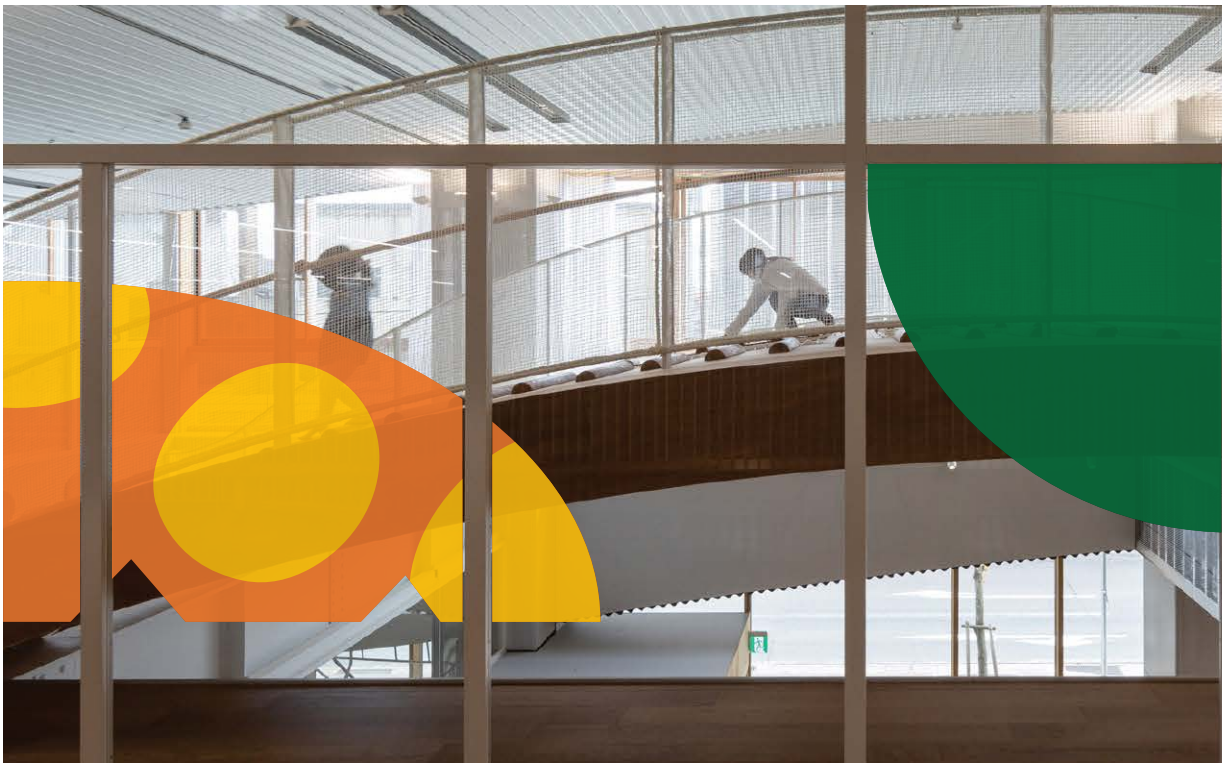


03 NW Elevation
SOMA-facing wall
Scale 1:100

NOT FOR CONSTRUCTION



02 Reference
One-way vision
perforated vinyl



03 Montage
NTS

Notes

PURPOSE
The window graphics are located on the primary facade facing Gregory Hills Drive. The graphics animate the facade for vehicular traffic externally and internally the children and staff in the facility through colour, form and patterning.

MATERIALITY
To be digitally printed graphics to a premium self-adhesive one-way vision vinyl installed to manufacturers specifications to inside facing of glazing.

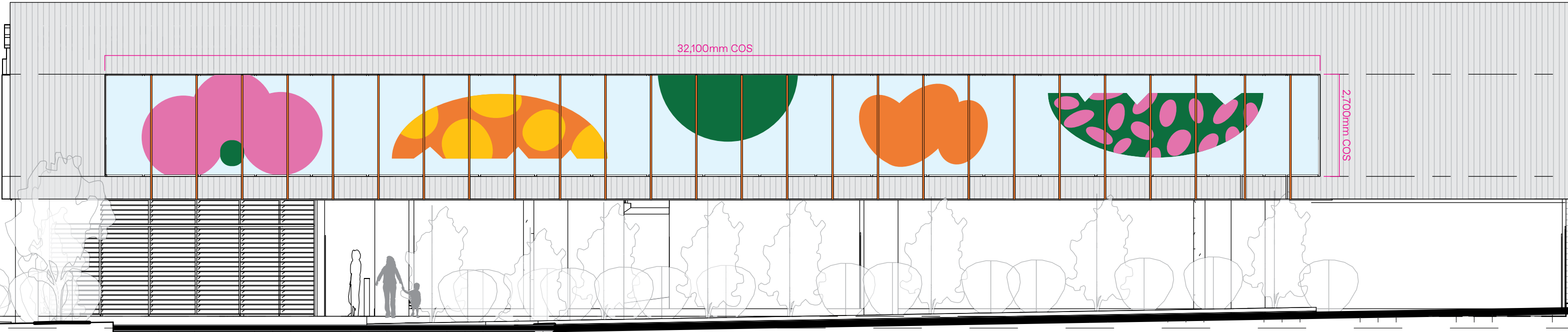
FINISHES/COLOUR
As illustrated

For colour specification refer Graphic standards.

GRAPHICS
Digital print graphic direct to premium one-way vision vinyl, as illustrated on elevation and noted in documentation. To be two pack proprietary ink system, suitable for the vinyl film.

Area window: 86.7m2

Area each shape approx: 7.5m2



01 SW Elevation
Gregory Hills Dr-facing facade
Scale 1:100

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Scale
As shown at A3

Issue
Issue for
Review

Revisions

A 07.12.23 Issue for DA

B 19.12.23 Issue for Review

Project no.
SOMA2395

Drawing
Facade
feature

Date
06.12.23

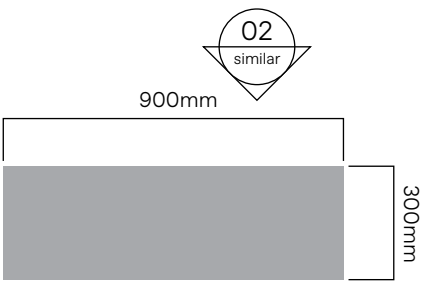
Project
SOMA
Stage 3

Drawn/Checked
BA/JM

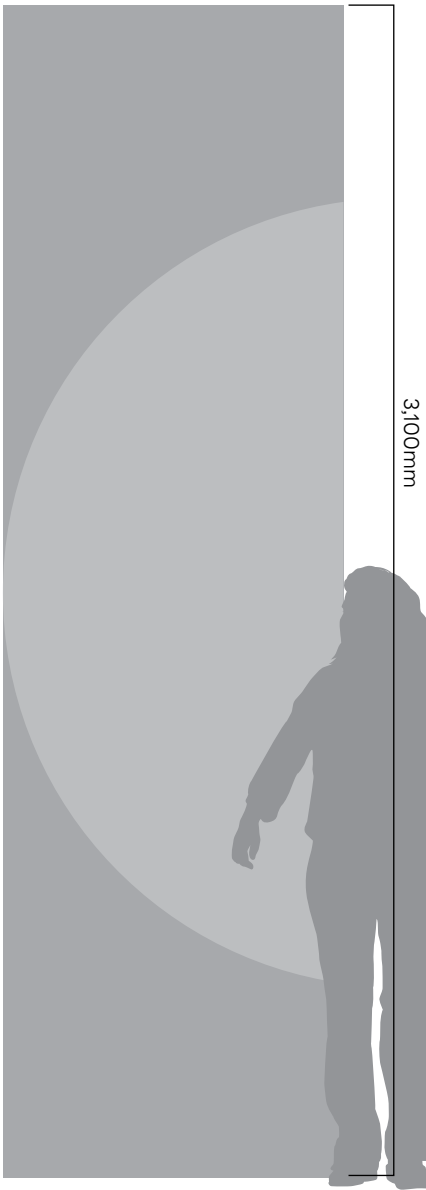
Signtype
P.2

Drawing number
SOMA2395-P2-001

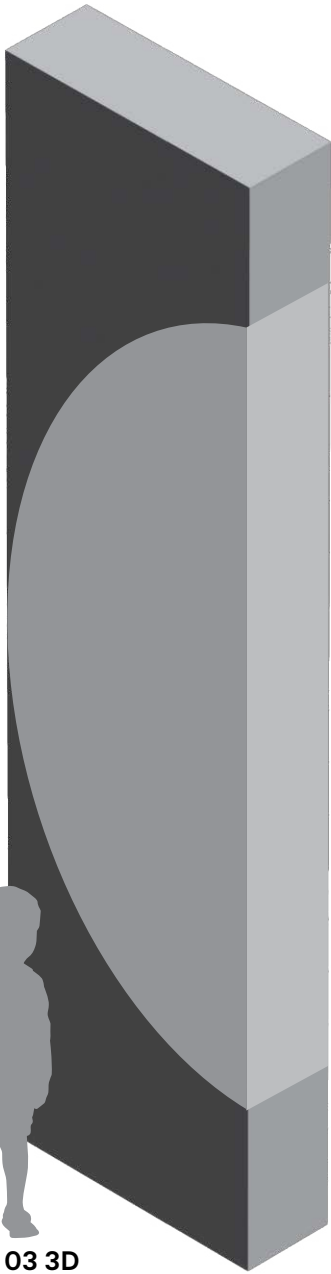
Revision
B



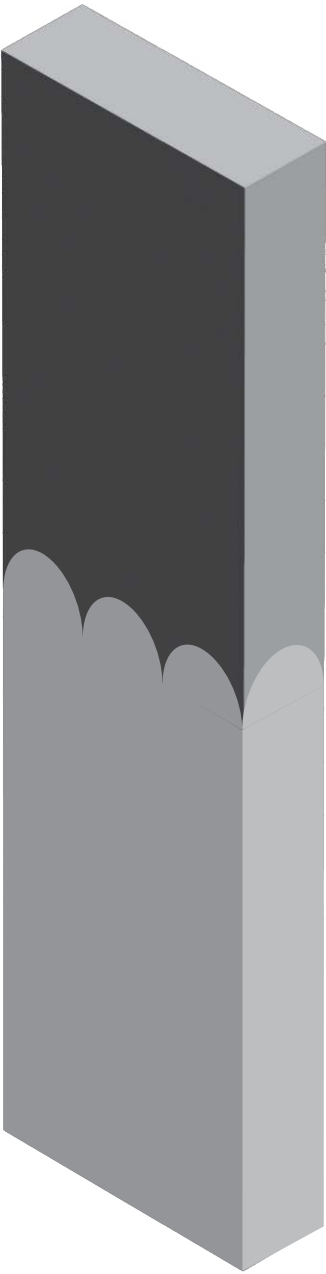
01 Plan
Typical column
Scale 1:20



02 Elevation
Typical column
Scale 1:20



03 3D
NTS



04 Montage
NTS



Paint colour to vertical edge
of stair to be Supergraphic Lilac,
refer drawing SOMA2395-GEN-003
& architects documentation.



Notes

PURPOSE
The column graphics are located under the building to animate the journey from car to facility and through the use of colour zone the carpark to assist in wayfinding.

MATERIALITY
Graphics/text to be mask & spray painted with DULUX 2-pak external grade paint system, or similar appropriate for location

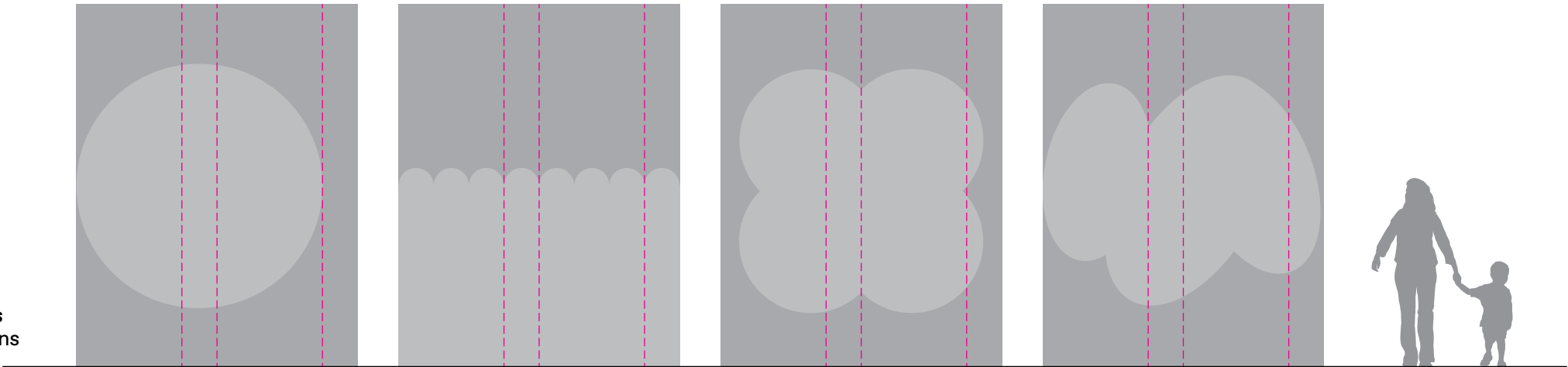
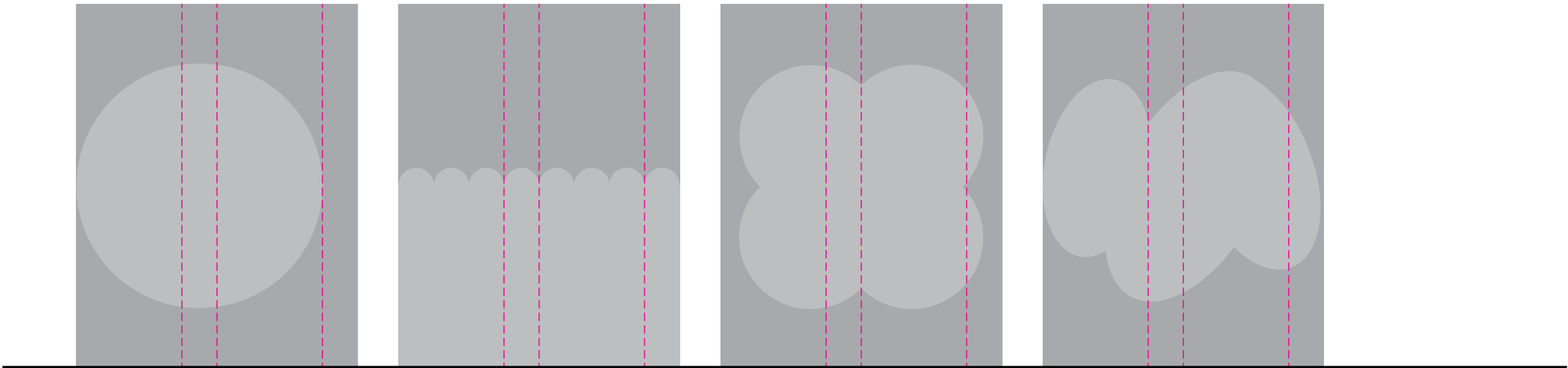
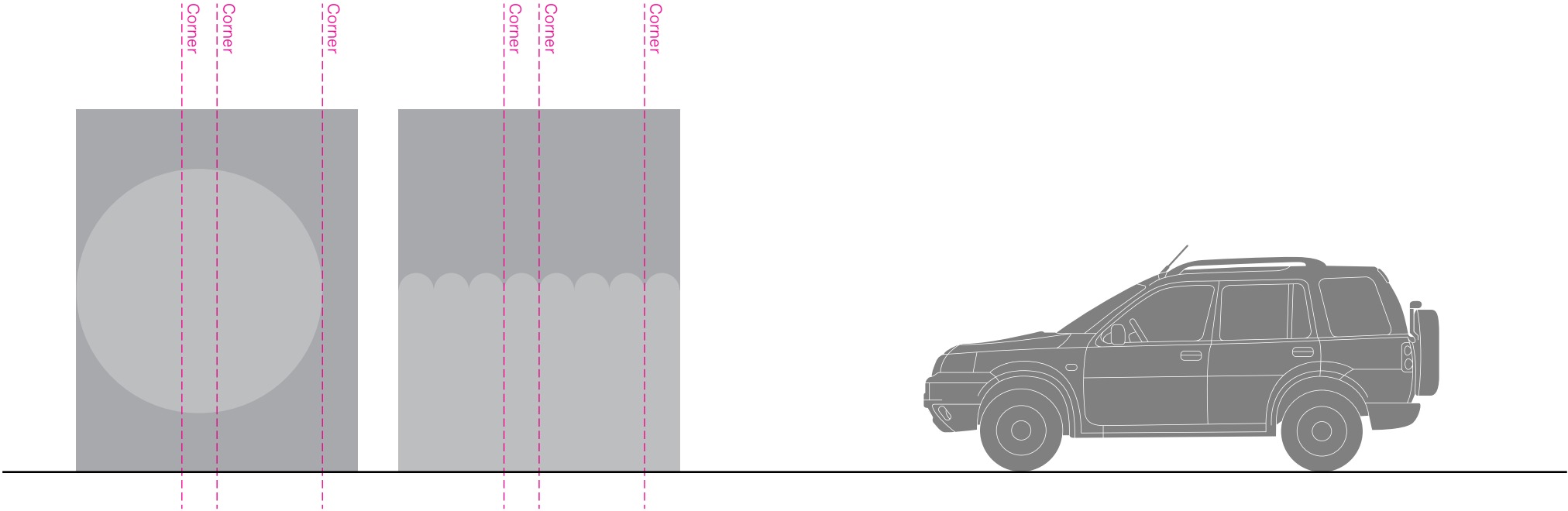
FINISHES/COLOUR
As illustrated

For colour specification refer Graphic standards

To be two pack polyurethane, external grade paint system. Anti-graffiti satin clear coat spray finish 25% gloss level to all exposed surfaces.

GRAPHICS
Graphic to be mask & spray via vinyl cut template and spray painted directly to wall surface.

NOT FOR CONSTRUCTION



01 Unfolded elevations
Internal carpark columns
Scale 1:50

Notes
Refer drawing SOMA2395-P3-001

NOT FOR CONSTRUCTION

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Scale
As shown at A3

Issue
Issue for
Review

Revisions
A 07.12.23 Issue for DA
B 19.12.23 Issue for Review

Project no.
SOMA2395

Drawing
Column
feature

Date
06.12.23

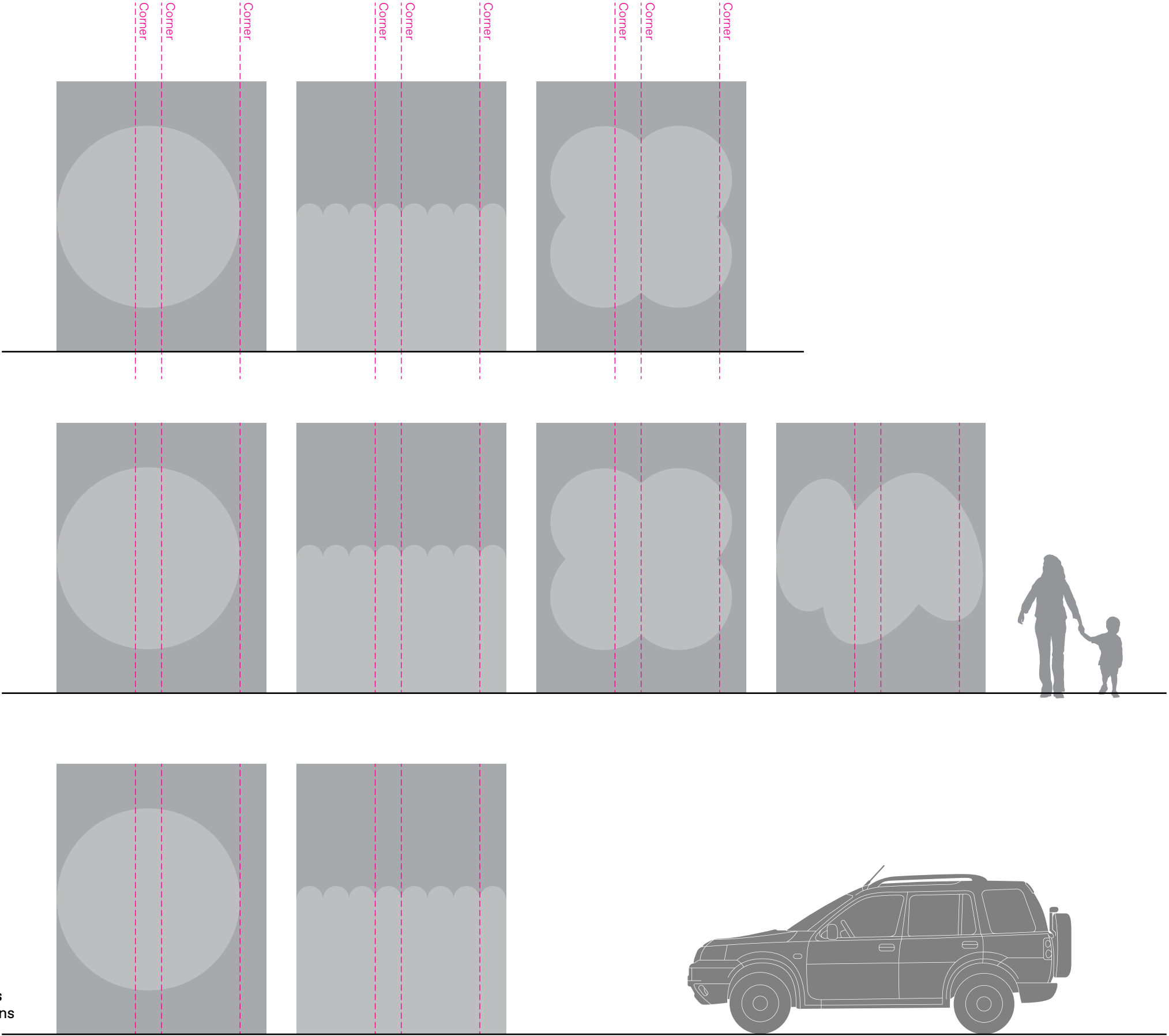
Project
SOMA
Stage 3

Drawn/Checked
BA/JM

Signtype
P.3

Drawing number
SOMA2395-P3-002

Revision
B



01 Unfolded elevations
Internal carpark columns
Scale 1:50

Notes
Refer drawing SOMA2395-P3-001

NOT FOR CONSTRUCTION

CONTOUR

LANDSCAPE ARCHITECTURE

DA DOCUMENTATION

PROJECT

SOMA Stage 3
Childcare Centre

ADDRESS

9 Gregory Hills Drive,
Gledswood Hills NSW 2557

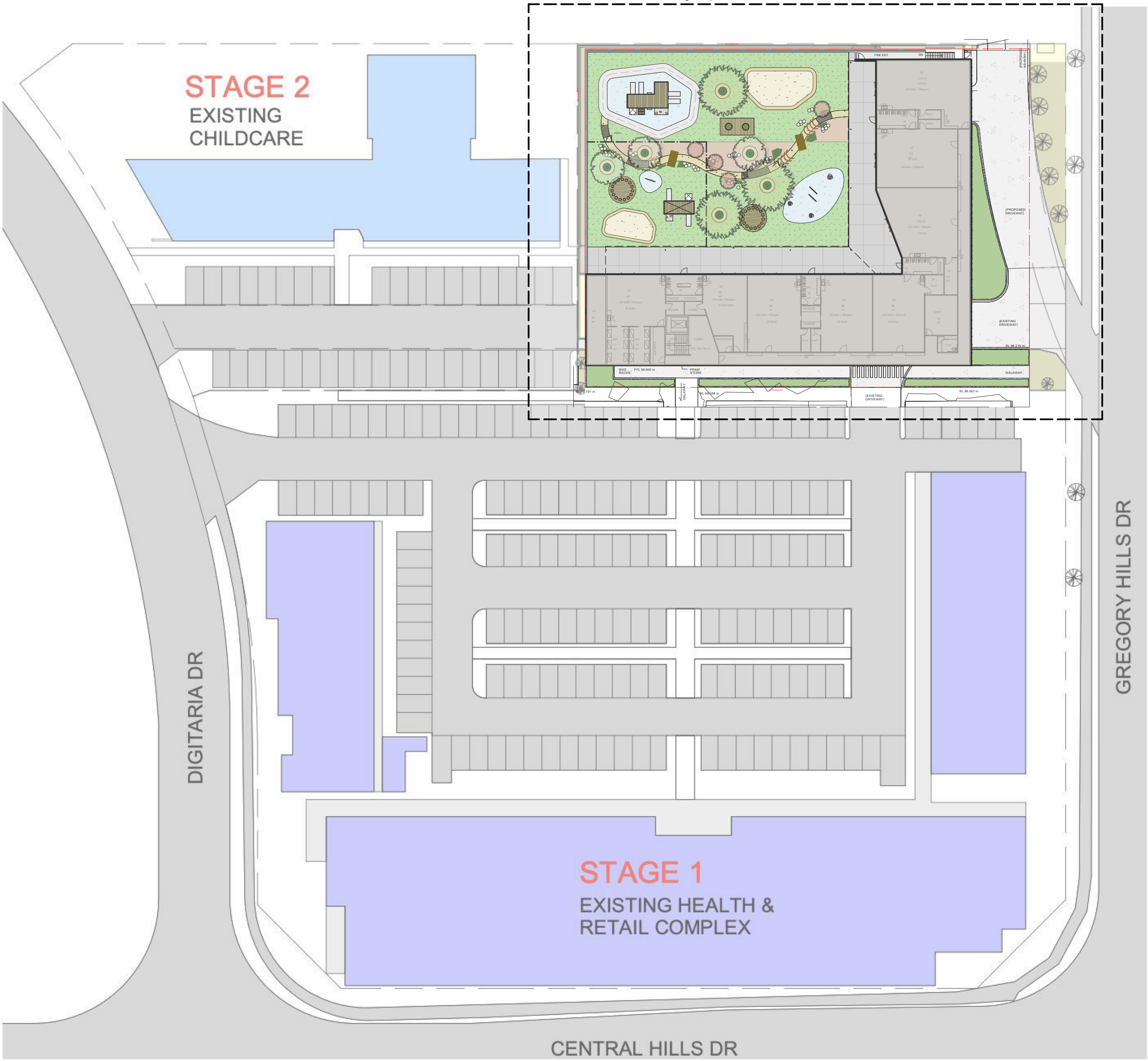


SITE LOCATION



RENDER (by others)

STAGE 3 PROPOSED CHILDCARE
Refer C2 - Playspace Plan



CONTOUR
LANDSCAPE ARCHITECTURE

PO Box 698 MONA VALE NSW 1660
Tel: 0434 500 705 - AIDLM

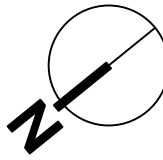
PROJECT
SOMA Stage 3
Childcare Centre
9 Gregory Hills Drive,
Gledswood Hills NSW 2557

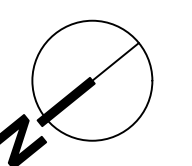
NOTES
comply with building code of australia and all relevant australian standards
all works shall be in accordance with development application and construction certificate conditions of consent
all levels to ahd
refer to survey information relating to existing site data
verify all dimensions prior to works
do not scale from drawings
use figured dimensions in preference to scaling
refer all discrepancies to landscape architect for determination
this drawing is copyright and must not be retained, copied, used or reproduced in any way without prior written permission of
contour landscape architects.

DATE	REV.	ISSUE
19/04/23	A	
29/05/23	B	
02/06/23	C	
03/07/23	D	

DATE: 03/07/23
SCALE: 1:500 @ A2
DRAWN: SEC

DRAWING
SITE PLAN
DRAWING NO:
C1
REV:
D







CONTOUR
LANDSCAPE ARCHITECTURE
PO Box 698 MONA VALE NSW 1660
Tel: 0434 500 705 - AIDLM

PROJECT
SOMA Stage 3
Childcare Centre
9 Gregory Hills Drive,
Gledswood Hills NSW 2557

NOTES
comply with building code of australia and all relevant australian standards
all works shall be in accordance with development application and construction certificate conditions of consent
all levels to ahd
refer to survey information relating to existing site data
verify all dimensions prior to works
do not scale from drawings
use figured dimensions in preference to scaling
refer all discrepancies to landscape architect for determination
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DATE	REV.	ISSUE
19/04/23	A	
29/05/23	B	
02/06/23	C	
03/07/23	D	

DATE: 03/07/23
SCALE: N/A
DRAWN: SEC

DRAWING
PLAYSPACE
CONCEPT IMAGERY
DRAWING NO:
C3
REV:
D

Botanic Name	Common Name	Quantity	Density	Soil Depth	Pot Size	Designed Height
Casuarina glauca 'Cousin It'	Dwarf Casuarina	6	1/0.2m2	300-450mm	300mm	300
Elaeocarpus eumundi	Smoothed leaved Quandong	3	1/2.5m2	500-600mm	100lt	3500
Hedera canariensis	Canary Island Ivy	31	1/0.2m2	300-450mm	200mm	500
Isolepis nodosus	Knobby Club Rush	72	1/1.5m2	300-450mm	140mm	700
Lomandra 'Tanika'	Dwarf Lomandra	68	1/1.5m2	300-450mm	140mm	1000
Lomandra longifolia	Native Grass	15	1/1.5m2	300-450mm	200mm	1500
Pandorea pandorana	Wonga Wonga Vine	33	1/0.2m2	300-450mm	200mm	300
Philodendron 'Xanadu'	Dwarf Philodendron	12	1/1.5m2	300-450mm	200mm	1000
Pyrus calleryana 'Capital'	Ornamental Pear	10	1/10m2	1000mm	100lt	11000
Syzygium 'Pinnacle'	Pinnacle Lillypilly	19	1/2.5m2	500-600mm	300mm	3000
Tristaniaopsis laurina 'Luscious'	Water Gum	3	1/2.5m2	500-600mm	100lt	3500
Waterhousea floribunda 'Green Avenue'	Green Avenue Lilly Pilly	10	1/10m2	1000mm	100lt	10000

NOTES

- Proposed landscaping in accordance with Appendix B of Camden Development Control Plan 2019.
- All soil volumes shall be based on mature tree height and spread. All soil volumes shall be in line with Part 4 of Apartment Design Guidelines, NSW Department of Planning 2019.
- All planting shall be in line with soil guidelines as per Table 5 of Apartment Design Guidelines, NSW Department of Planning 2019
- Tree stock to be sourced in accordance with tests and measurements contained within AS2303-2018 - Tree Stock for Landscape Use

TABLE 5 - MINIMUM SOIL STANDARDS FOR PLANT TYPES AND SIZES
(Apartment Design Guidelines, NSW Department of Planning 2019)

Plant type	Definition	Soil volume	Soil depth	Soil area
Large trees	12-18m high, up to 16m crown spread at maturity	150m ³	1,200mm	10m x 10m or equivalent
Medium trees	8-12m high, up to 8m crown spread at maturity	35m ³	1,000mm	6m x 6m or equivalent
Small trees	6-8m high, up to 4m crown spread at maturity	9m ³	800mm	3.5m x 3.5m or equivalent
Shrubs			500-600mm	
Ground cover			300-450mm	
Turf			200mm	

Note: The above has been calculated assuming fortnightly irrigation. Any sub-surface drainage requirements are in addition to the above minimum soil depths

APPENDIX B - LANDSCAPE DESIGN PRINCIPLES AND SUBMISSION REQUIREMENTS
(Camden Development Control Plan 2019)

Design Principles

1. Natural features (e.g. site, such as trees, vegetation, rock outcrops, cliffs, ledges, indigenous species and vegetation communities must be retained and incorporated into the design of development and the associated landscape plan.
2. Landscaping is to be designed to integrate new development with the existing landscape character of the street and be sensitive to site attributes, existing landscape features, streetscape view and vistas (refer to Part 2 Environmental Heritage).
3. Landscaping is to enhance the visual setting and accentuate the design qualities of the built form. Landscaping solutions are to be used to create a screening effect for visually intrusive land uses or building elements.
4. Landscaping should encourage the development of a tree canopy to soften the built environment and to encourage the continuity of the landscape pattern or urban forest.
5. Landscaping is to be designed to minimise overlooking between properties and to enhance amenity.
6. Landscape design should take into consideration solar access both within the site and adjacent sites.
7. Public / private open space areas must incorporate appropriate landscaping that is designed to maximise surveillance opportunities.
8. Landscaping areas should be designed to require minimal maintenance by using robust landscape elements and using hardy plants with low maintenance requirements, where space and site layout permits, the water tanks should be installed to provide for the watering requirements.
9. The amount of hard surface area on each site is to be minimised to reduce run-off. Run-off leaving the site should be reduced by directing the overland flow during rainfall events to permeable surfaces such as garden beds and rain gardens.

☒ CONSIDERED ☐ N/A TO SITE

PROPOSED
CHILD CARE
(REFER
ARCHITECTURALS
BY RAINSFORD)

SEC

ARCHITECTURE BY RAIN

MODIFIED
DRIVEWAY

(EXISTING DRIVEWAY)

(PROPOSED
DRIVEWAY)

— 14-Syzygium 'Pinnacle'

— 2-Waterhousea floribunda 'Green Avenue'

— 21-Hedera canariensis

— 7-*Lomandra longifolia*

12-Philodendron 'Xanadu'

— 5-Syzygium 'Pinnacle'

— 8-*Lomandra longifolia*

— 4-*Lomandra* 'Tanika'

8-Isolepis nodosus

— 8-Lomandra 'Tanika'

DATE: 03/07/23

SCALE: 1:100 @ A1
1:200 @ A3

DRAWN: SEC

DRAWING
**PLANTING PLAN -
GROUND FLOOR**

DRAWING NO:
C4

REV:
D

CONTOUR
LANDSCAPE ARCHITECTURE

PO Box 698 MONA VALE NSW 1660
Tel: 0434 500 705 - AIDLM

PROJECT
SOMA Stage 3
Childcare Centre
9 Gregory Hills Drive,
Gledswood Hills NSW 2557

NOTES

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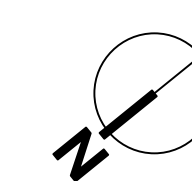
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19/04/23 A

29/05/23 B

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03/07/23 D



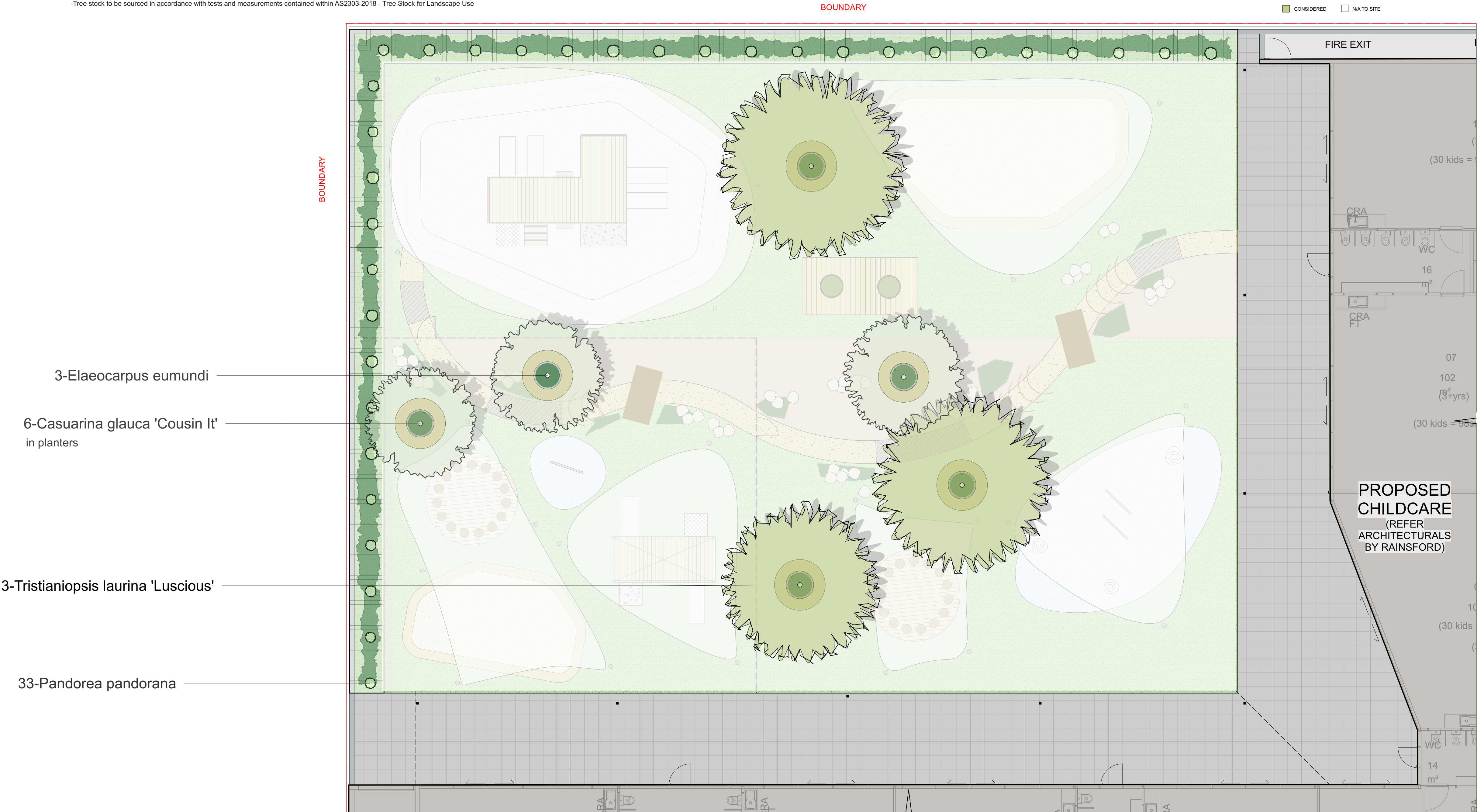
PLANT SCHEDULE						
Botanic Name	Common Name	Quantity	Density	Soil Depth	Pot Size	Designed Height
Casuarina glauca 'Cousin It'	Dwarf Casuarina	6	1/0.2m2	300-450mm	300mm	300
Elaeocarpus eumundi	Smoothed leaved Quandong	3	1/2.5m2	500-600mm	100lt	3500
Hedera canariensis	Canary Island Ivy	31	1/0.2m2	300-450mm	200mm	500
Isolepis nodosus	Knobby Club Rush	72	1/1.5m2	300-450mm	140mm	700
Lomandra 'Tanika'	Dwarf Lomandra	68	1/1.5m2	300-450mm	140mm	1000
Lomandra longifolia	Native Grass	15	1/1.5m2	300-450mm	200mm	1500
Pandorea pandorana	Wonga Wonga Vine	33	1/0.2m2	300-450mm	200mm	300
Philodendron 'Xanadu'	Dwarf Philodendron	12	1/1.5m2	300-450mm	200mm	1000
Pyrus calleryana 'Capital'	Ornamental Pear	10	1/10m2	1000mm	100lt	11000
Syzygium 'Pinnacle'	Pinnacle Lillypilly	19	1/2.5m2	500-600mm	300mm	3000
Tristaniopsis laurina 'Luscious'	Water Gum	3	1/2.5m2	500-600mm	100lt	3500
Waterhousea floribunda 'Green Avenue'	Green Avenue Lilly Pilly	10	1/10m2	1000mm	100lt	10000

NOTES
-Proposed landscaping in accordance with Appendix B of Camden Development Control Plan 2019.
-All soil volumes shall be based on mature tree height and spread. All soil volumes shall be in line with Part 4 of Apartment Design Guidelines, NSW Department of Planning 2019
-All planting shall be in line with soil guidelines as per Table 5 of Apartment Design Guidelines, NSW Department of Planning 2019
-Tree stock to be sourced in accordance with tests and measurements contained within AS2303-2018 - Tree Stock for Landscape Use

TABLE 5 - MINIMUM SOIL STANDARDS FOR PLANT TYPES AND SIZES (Apartment Design Guidelines, NSW Department of Planning 2019)				
Plant type	Definition	Soil volume	Soil depth	Soil area
Large trees	12-18m high, up to 16m crown spread at maturity	150m³	1,200mm	10m x 10m or equivalent
Medium trees	8-12m high, up to 8m crown spread at maturity	35m³	1,000mm	6m x 6m or equivalent
Small trees	6-8m high, up to 4m crown spread at maturity	9m³	800mm	3.5m x 3.5m or equivalent
Shrubs			500-600mm	
Ground cover			300-450mm	
Turf			200mm	

Note: The above has been calculated assuming fortnightly irrigation. Any sub-surface drainage requirements are in addition to the above minimum soil depths

- APPENDIX B - LANDSCAPE DESIGN PRINCIPLES AND SUBMISSION REQUIREMENTS
(Camden Development Control Plan 2019)
- Design Principles
- 1. Natural features on the site, such as trees, vegetation, rock outcrops, cliffs, ledges, indigenous species and vegetation communities must be retained and incorporated into the design of development and the associated landscape plan.
 - 2. Landscaping is to be designed to integrate new development with the existing landscape character of the street and be sensitive to site attributes, existing landscape features, streetscape view and vistas (refer to Part 3 Environmental Heritage).
 - 3. Landscaping is to enhance the visual setting and accentuate the design qualities of the built form. Landscaping solutions are to be used to create a screening effect for visually obtrusive land uses or building elements.
 - 4. Landscaping should encourage the development of a tree canopy to soften the built environment and to encourage the continuity of the landscape pattern or urban forest.
 - 5. Landscaping is to be designed to minimise overlooking between properties and to enhance amenity.
 - 6. Landscape design should take into consideration solar access both within the site and adjacent sites.
 - 7. Public / private open space areas must incorporate appropriate landscaping that is designed to maximise surveillance opportunities.
 - 8. Landscaped areas should be designed to require minimal maintenance by using robust landscape elements and using hardy plants with low maintenance requirements. Where space and site layout permits, water tanks should be installed to provide for the watering requirements.
 - 9. The amount of hard surface area on each site is to be minimised to reduce run-off. Run-off leaving the site should be reduced by directing the overland flow during rainfall events to permeable surfaces such as garden beds and rain gardens.
- CONSIDERED □ N/A TO SITE



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DATE: 03/07/23

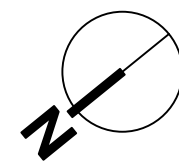
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DRAWING
PLANTING PLAN
FIRST FLOOR

DRAWING NO:
C5

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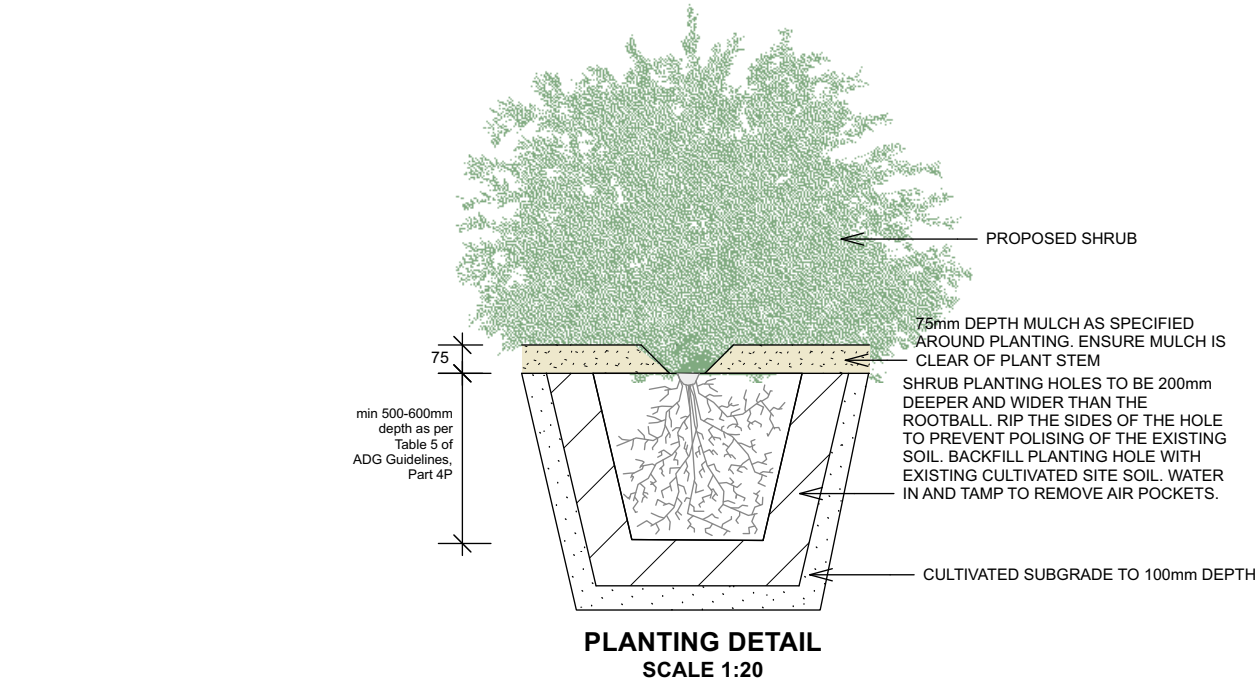
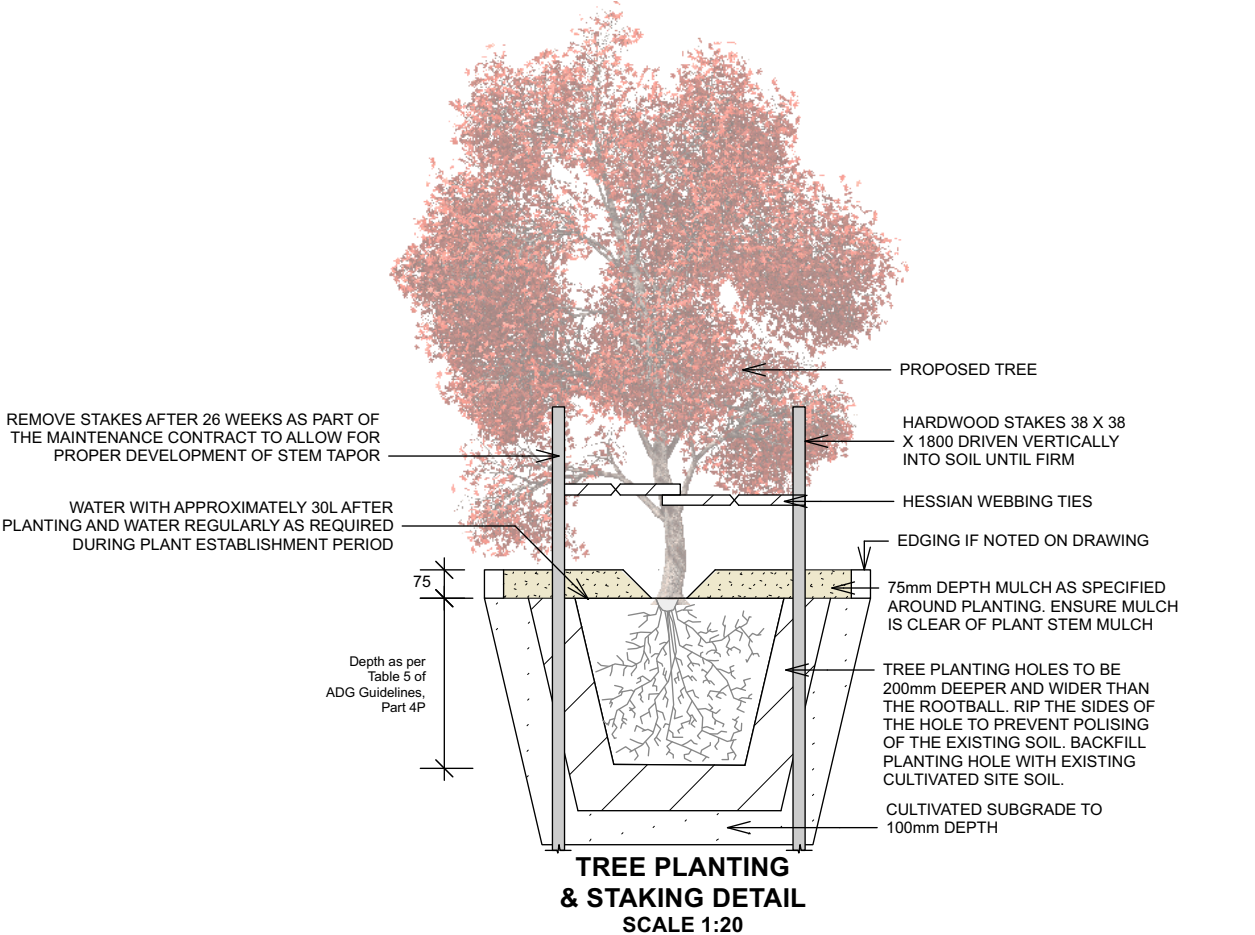
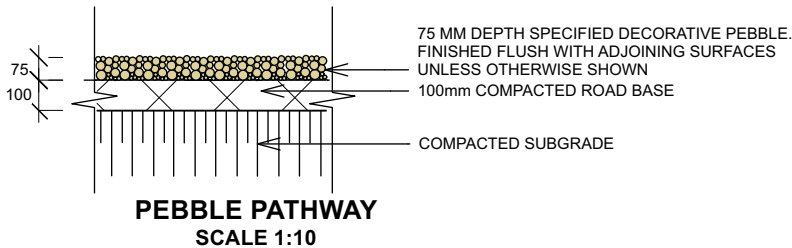
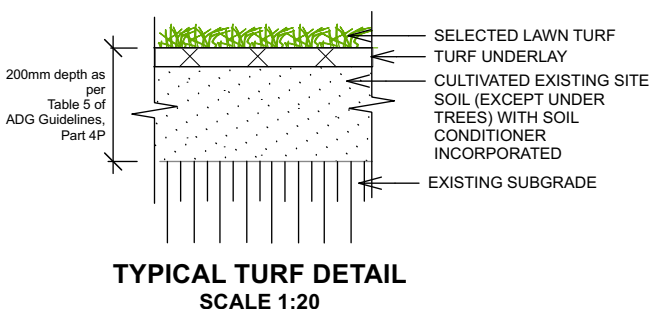
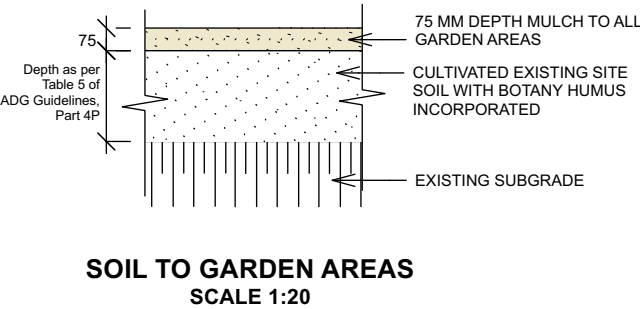


TABLE 5 - MINIMUM SOIL STANDARDS FOR PLANT TYPES AND SIZES
(Apartment Design Guidelines, Part 4P - NSW Department of Planning 2019)

Plant type	Definition	Soil volume	Soil depth	Soil area
Large trees	12-18m high, up to 16m crown spread at maturity	150m ³	1,200mm	10m x 10m or equivalent
Medium trees	8-12m high, up to 8m crown spread at maturity	35m ³	1,000mm	6m x 6m or equivalent
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1:100 @ A3

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SECTION AA

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C7

REV:
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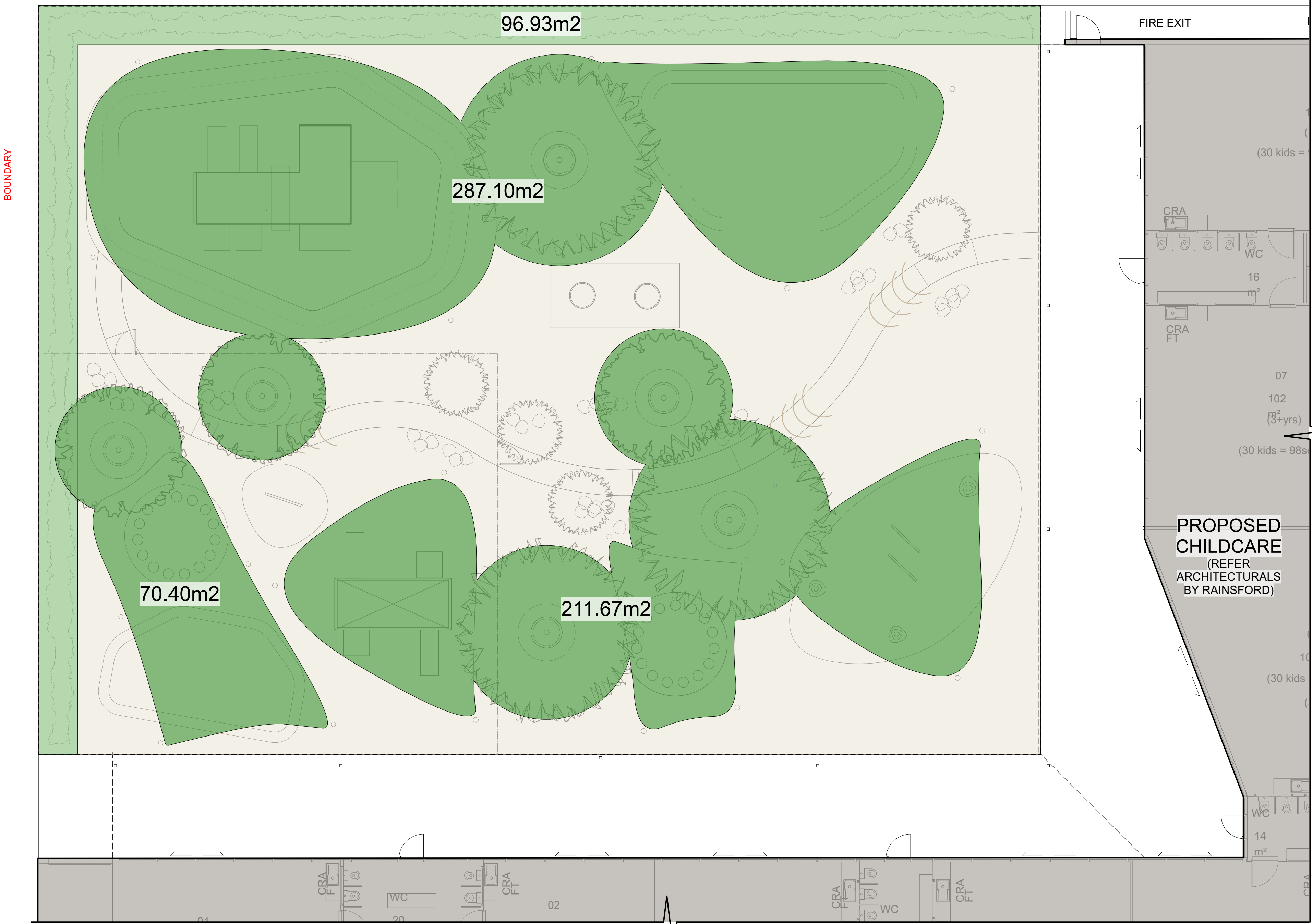
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SECTION BB

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C8

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D

TOTAL PLAYSPACE AREA SIZE 1116.86m2

BOUNDARY



DEVELOPMENT COMPLIANCE TABLE

As per Childcare Planning Guidelines 2017, 4.11 Shade, Regulation 114 - Education & Care Services National Regulations

CHILDCARE SHADE COMPLIANCE	AREA	COMPLY
PLAYSPACE AREA SIZE	1116.86m2	N/A
MINIMUM 30% OF GROUND AREA	335.05m2	N/A
MAXIMUM 60% COVERAGE	670.12m2	N/A
SHADED COVERAGE AT INSTALL	569.17m2	YES
SHADED COVERAGE INCLUDING MATURE TRELLIS	666.1m2	YES

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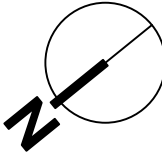
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02/06/23	C	
03/07/23	D	
12/12/23	E	

DATE: 12/12/23

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DRAWN: SEC

DRAWING
CHILDCARE SHADE COMPLIANCE PLAN
DRAWING NO: C9
REV: E





SOMA WELLNESS

8 GREGORY HILLS DRIVE
GLEDSDOOD HILLS N.S.W.
SOMA CHILDCARE CENTRE

DRAWING SCHEDULE

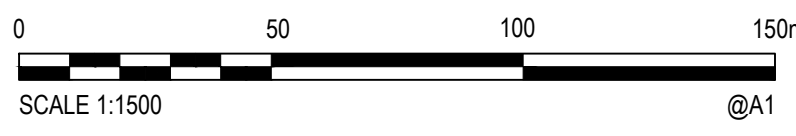
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230026-DA-C01.01	COVER SHEET & DRAWING SCHEDULE
230026-DA-C01.11	GENERAL NOTES AND LEGENDS
230026-DA-C03.01	BULK EARTHWORKS EROSION AND SEDIMENT CONTROL PLAN
230026-DA-C03.21	EROSION AND SEDIMENT CONTROL DETAILS
230026-DA-C04.01	CUT AND FILL PLAN
230026-DA-C05.01	SITEWORKS AND STORMWATER MANAGEMENT PLAN GROUND FLOOR LEVEL
230026-DA-C05.11	PODIUM AND ROOF PLAN
230026-DA-C11.01	PAVEMENT, SIGNAGE AND LINEMARKING PLAN
230026-DA-C14.01	SITEWORKS AND STORMWATER DETAILS - SHEET 01
230026-DA-C14.02	SITEWORKS AND STORMWATER DETAILS - SHEET 02
230026-DA-C18.51	ON-SITE DETENTION TANK PLAN AND DETAILS
230026-DA-C20.01	CATCHMENT PLAN

REV	DATE	DESCRIPTION	DRN	DES	VERIF	APPD
3	20/11/2023	ISSUED FOR DEVELOPMENT APPLICATION	NAF	AD	MKH	MKH
2	1/09/2023	ISSUED FOR DEVELOPMENT APPLICATION	CB	EZ	MKH	MKH
1	24/05/2023	ISSUED FOR COORDINATION	NPH	EBO		MHO

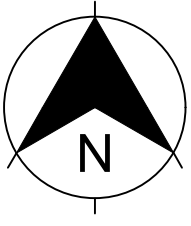
Client



Scale



North



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Scale 1: 1500	Status FOR INFORMATION ONLY NOT TO BE USED FOR CONSTRUCTION
Date 24/05/2023	Project Number/Drawing Number 230026-DA-C01.01
Size A1	Revision 3
Datum MGA94	

1. ORIGIN OF SURVEY

PROJECT:	00045-99121	DATE: 21/07/2020
CARRIED OUT BY:	JOHN LOWE AND ASSOCIATES PTY LTD	
SSM/PM:	168905	
RL:	102.29	
2. THE EXISTING SITE CONDITIONS SHOWN ON THE FOLLOWING DRAWINGS HAVE BEEN SUPPLIED BY REGISTERED SURVEYORS TO PROVIDE A BASIS FOR DESIGN. THE USE OF THIS SURVEY BASE DOES NOT GUARANTEE THE ACCURACY OR COMPLETENESS OF THE SURVEY BASE OR ITS SUITABILITY AS A BASIS FOR CONSTRUCTION DRAWINGS.
3. SHOULD DISCREPANCIES BE ENCOUNTERED DURING CONSTRUCTION OF THE SURVEY DATA AND ANNUAL FIELD DATA, CONTACT THE SUPERINTENDENT.
4. THE RELATIONSHIP OF IMPROVEMENTS TO BOUNDARIES ARE DIAGRAMMATIC ONLY. WHERE DISTANCES TO BOUNDARIES ARE CRITICAL THEY SHOULD BE CONFIRMED ON SITE PRIOR TO CONSTRUCTION BY FURTHER SURVEY.

1. ALL WORKS TO BE CONSTRUCTED IN ACCORDANCE WITH CAMDEN COUNCIL STANDARDS.
2. CAMDEN COUNCIL STANDARD DETAILS TO BE USED WHERE POSSIBLE.
3. UTILITY ADJUSTMENTS AT DEVELOPERS EXPENSE.
4. CONDUITS TO BE PLACED WHERE REQUIRED BY THE RELEVANT AUTHORITIES.
5. SUBSOIL DRAINAGE LINES AND FLUSHING POINTS AT MAXIMUM 60m CENTRES SHALL BE INSTALLED BEHIND ALL KERBS.
6. A MINIMUM OF 3m OF SUBSOIL LINE SHALL BE LAID INTO UPSTREAM SIDE OF ALL DRAINAGE PITTS.

THE LOCATIONS OF UNDERGROUND SERVICES SHOWN IN THIS SET OF DRAWINGS HAVE BEEN PLOTTED FROM SURVEY INFORMATION AND SERVICE AUTHORITY INFORMATION. THE SERVICE INFORMATION HAS BEEN PREPARED ONLY TO SHOW THE APPROXIMATE POSITIONS OF ANY KNOWN SERVICES AND MAY NOT BE AS CONSTRUCTED OR ACCURATE. ENSPIRE SOLUTIONS CAN NOT GUARANTEE THAT THE SERVICES INFORMATION SHOWN ON THESE DRAWINGS ACCURATELY INDICATES THE PRESENCE OR ABSENCE OF SERVICES OR THEIR LOCATION AND WILL ACCEPT NO LIABILITY FOR INACCURACIES IN THE SERVICES' INFORMATION SHOWN FROM ANY CAUSE WHATSOEVER.

CONTRACTORS SHALL TAKE DUE CARE WHEN EXCAVATING ONSITE INCLUDING HAND EXCAVATION WHERE NECESSARY.

CONTRACTORS ARE TO CONTACT THE RELEVANT SERVICE AUTHORITY PRIOR TO COMMENCEMENT OF EXCAVATION WORKS. CONTRACTORS ARE TO UNDERTAKE A SERVICES SEARCH, PRIOR TO COMMENCEMENT OF WORKS ON SITE. SEARCH RESULTS ARE TO BE KEPT ON SITE AT ALL TIMES.

COMMUNICATIONS AND DATA PROVIDER PLANS SHOW ONLY THE PRESENCE OF CABLES AND PLANT. THEY ONLY SHOW THEIR POSITION RELATIVE TO ROAD BOUNDARIES, PROPERTY FENCES ETC. AT THE TIME OF INSTALLATION AND EACH PROVIDER DOES NOT WARRANT OR HOLD OUT THAT SUCH PLANS ARE ACCURATE THEREAFTER DUE TO CHANGES THAT MAY OCCUR OVER TIME. DO NOT ASSUME DEPTH OR ALIGNMENT OF CABLES OR PLANT AS THESE VARY SIGNIFICANTLY. THE CONTRACTOR HAS A DUTY OF CARE WHEN EXCAVATING NEAR COMMUNICATIONS AND DATA CABLES AND PLANT.

BEFORE USING MACHINE EXCAVATORS COMMUNICATIONS PLANT MUST FIRST BE PHYSICALLY EXPOSED BY SOFT DIG POTHOLES TO IDENTIFY ITS LOCATION. PROVIDERS WILL SEEK COMPENSATION FOR DAMAGES CAUSED TO ITS PROPERTY AND LOSSES CAUSED TO THE PROVIDERS AND ITS CUSTOMERS.

TELSTRA'S PLANS SHOW ONLY THE PRESENCE OF CABLES AND PLANT. THEY ONLY SHOW THEIR POSITION RELATIVE TO ROAD BOUNDARIES, PROPERTY FENCES ETC. AT THE TIME OF INSTALLATION AND TELSTRA DOES NOT WARRANT OR HOLD OUT THAT SUCH PLANS ARE ACCURATE THEREAFTER DUE TO CHANGES THAT MAY OCCUR OVER TIME. DO NOT ASSUME DEPTH OR ALIGNMENT OF CABLES OR PLANT AS THESE VARY SIGNIFICANTLY. THE CONTRACTOR HAS A DUTY OF CARE WHEN EXCAVATING NEAR TELSTRA CABLES AND PLANT.

BEFORE USING MACHINE EXCAVATORS TELSTRA PLANT MUST FIRST BE PHYSICALLY EXPOSED BY SOFT DIG POTHOLING TO IDENTIFY ITS LOCATION. TELSTRA WILL SEEK COMPENSATION FOR DAMAGES CAUSED TO ITS PROPERTY AND LOSSES CAUSED TO TELSTRA AND ITS CUSTOMERS.

1. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE CONTROL OF EROSION AND SEDIMENTATION TO THE SATISFACTION OF COUNCIL, NSW OFFICE OF WATER, DEPARTMENT OF PLANNING, INDUSTRY AND ENVIRONMENT. THE EROSION AND SEDIMENTATION CONTROLS SHOWN ON THE DRAWINGS SHALL ONLY BE USED AS A GUIDE BY THE CONTRACTOR, AND SHALL REPRESENT THE MINIMUM REQUIREMENT ONLY.
2. THE CONTRACTOR SHALL ENSURE THAT ALL SOIL AND WATER MANAGEMENT WORKS ARE LOCATED TO SUIT CONSTRUCTION STAGING AND WORK PRACTICES OR AS OTHERWISE DIRECTED BY THE SUPERINTENDENT.
ALL WORK SHALL BE GENERALLY CARRIED OUT IN ACCORDANCE WITH
a. LOCAL AUTHORITY REQUIREMENTS
b. EPA REQUIREMENTS
c. LANDCOM MANUAL "MANAGING URBAN STORMWATER, SOILS AND CONSTRUCTION", 4th EDITION, 2004.
3. MAINTAIN THE EROSION CONTROL DEVICES TO THE SATISFACTION OF THE SUPERINTENDENT AND THE LOCAL AUTHORITY.
4. WHEN STORMWATER PITS ARE CONSTRUCTED, PREVENT SITE RUNOFF ENTERING UNLESS SEDIMENT FENCES ARE ERECTED AROUND PITS.
5. CONTRACTOR IS TO ENSURE ALL EROSION & SEDIMENT CONTROL DEVICES ARE MAINTAINED IN GOOD WORKING ORDER AND OPERATE EFFECTIVELY. REPAIRS AND OR MAINTENANCE SHALL BE UNDERTAKEN AS REQUIRED, PARTICULARLY FOLLOWING STORM EVENTS.

6. WHERE PRACTICAL, THE SOIL EROSION HAZARD ON THE SITE WILL BE KEPT AS LOW AS POSSIBLE. TO THIS END, WORKS SHOULD BE UNDERTAKEN IN THE FOLLOWING SEQUENCE:

- INSTALL A SEDIMENT FENCE ALONG THE BOUNDARIES AS SHOWN ON PLAN, REFER DETAIL.
- CONSTRUCT STABILISED CONSTRUCTION ENTRANCE TO LOCATION AS DETERMINED BY SUPERINTENDENT/ENGINEER. REFER DETAIL.
- INSTALL SEDIMENT BASIN AS SHOWN ON PLAN, INSTALL SEDIMENT TRAPS AS SHOWN ON PLAN.
- UNDERTAKE SITE STABILISATION WORKS IN ACCORDANCE WITH THE ENGINEERING PLANS. WHERE POSSIBLE, PHASE DEVELOPMENT SO THAT LAND DISTURBANCE IS CONFINED TO AREAS OF WORKABLE SIZE.

7. DURING WINDY WEATHER, LARGE, UNPROTECTED AREAS WILL BE KEPT MOIST (NOT WET) BY SPRINKLING WITH WATER TO KEEP DUST UNDER CONTROL.
8. FINAL SITE LANDSCAPING WILL BE UNDERTAKEN AS SOON AS POSSIBLE AND WITHIN 20 WORKING DAYS FROM COMPLETION OF CONSTRUCTION ACTIVITIES.

9. STOCKPILES WILL NOT BE LOCATED WITHIN 2 METRES OF HAZARD AREAS, INCLUDING LIKELY AREAS OF CONCENTRATED OR HIGH VELOCITY FLOWS SUCH AS WATERWAYS. WHERE THEY ARE BETWEEN 2 AND 5 METRES FROM SUCH AREAS, SPECIAL SEDIMENT CONTROL MEASURES SHOULD BE TAKEN TO MINIMISE POSSIBLE POLLUTION TO DOWNSTREAM WATERS, E.G. THROUGH INSTALLATION OF SEDIMENT FENCING.
10. ANY SAND USED IN THE CONCRETE CURING PROCESS (SPREAD OVER THE SURFACE) WILL BE REMOVED AS SOON AS POSSIBLE AND WITHIN 10 WORKING DAYS FROM PLACEMENT.
11. WATER WILL BE PREVENTED FROM ENTERING THE PERMANENT DRAINAGE SYSTEM UNLESS IT IS RELATIVELY SEDIMENT FREE, I.E. THE CATCHMENT AREA HAS BEEN PERMANENTLY LANDSCAPED AND/OR ANY LIKELY SEDIMENT HAS BEEN FILTERED THROUGH AN APPROVED STRUCTURE.
12. TEMPORARY SOIL AND WATER MANAGEMENT STRUCTURES WILL BE REMOVED ONLY AFTER THE LANDS THEY ARE PROTECTING ARE REHABILITATED.
13. ACCEPTABLE RECEPTORS WILL BE PROVIDED FOR CONCRETE AND MORTAR SLURRIES, PAINTS, ACID WASHINGS, LIGHT-WEIGHT WASTE MATERIALS AND LITTER.
14. ANY EXISTING TREES WHICH FORM PART OF THE FINAL LANDSCAPING PLAN WILL BE PROTECTED FROM CONSTRUCTION ACTIVITIES IN ACCORDANCE WITH SECTION 4 OF AS4970 "PROTECTION OF TREES ON DEVELOPMENT SITES" AND COUNCIL CONSENT CONDITIONS.

AT THE COMMENCEMENT OF THE CUT AND FILLING OPERATIONS FOR BULK EARTHWORKS A GEOTECHNICAL ENGINEER IS TO VISIT THE SITE & CONFIRM THE SUITABILITY OF THE METHODOLOGY OF ACHIEVING THE REQUIRED BUILDING PLATFORMS AND COMPACTION REQUIREMENTS. SUBSEQUENTLY, THE HEAD CONTRACTOR IS TO CONFIRM, IN WRITING TO THE SUPERINTENDENT THAT THE METHODOLOGY APPROVED AT THE TIME OF THE GEOTECHNICAL ENGINEERS VISIT WAS MAINTAINED DURING ALL THE BULK EARTHWORKS PROCESS.

2. STRIP TOPSOIL, ORGANIC MATTER AND RUBBLE FROM CONSTRUCTION AREA TO EXPOSE NATURALLY OCCURRING MATERIAL AND STOCKPILE ON SITE AS DIRECTED BY THE SUPERINTENDENT.

3. WHERE FILLING, STRUCTURAL SLABS OR PAVEMENTS ARE REQUIRED, PROOF ROLL THE EXPOSED NATURAL SURFACE WITH A MINIMUM OF TEN PASSES OF A SMOOTH DRUM NON-VIBRATING ROLLER (MINIMUM STATIC WEIGHT OF 10 TONNES) TO DETECT THEN REMOVE SOFT SPOTS (AREAS WITH MORE THAN 2mm MOVEMENT UNDER ROLLER) IN THE PRESENCE OF THE SUPERINTENDENT. THE CONTRACTOR IS TO ALLOW TO REMOVE AND REPLACE A PROVISIONAL QUANTITY OF UNSUITABLE SUBGRADE MATTER.

4. ALL SOFT, WET OR UNSUITABLE MATERIAL IS TO BE REMOVED AS DIRECTED BY THE SUPERINTENDENT AND REPLACED WITH APPROVED MATERIAL SATISFYING THE REQUIREMENTS LISTED BELOW.

5. EXCAVATED MATERIAL IS NOT TO BE USED AS STRUCTURAL FILL UNLESS APPROVED BY THE GEOTECHNICAL ENGINEER.

6. THE CONTRACTOR IS TO PROVIDE CERTIFICATES VERIFYING THE QUALITY OF IMPORTED MATERIAL FOR THE SUPERINTENDENTS APPROVAL.

7. ALL FILL MATERIAL SHALL BE PLACED IN MAXIMUM LAYER THICKNESS TO COUNCIL SPECIFICATIONS AND COMPACTED AT OPTIMUM MOISTURE CONTENT (+/- 2%) TO ACHIEVE A DRY DENSITY DETERMINED IN ACCORDANCE WITH AS1289 E3.1 OF NOT LESS THAN THE FOLLOWING STANDARD MINIMUM DRY DENSITY IN ACCORDANCE WITH AS1289 E5.1.1.1:

LOCATION	COMPACTION REQUIREMENT
UNDER BUILDING SLABS	98% SMD
LANDSCAPED AREAS	95% SMD
ROADS & PAVED AREAS	100% SMD

8. FOR NON COHESIVE MATERIAL, COMPACT TO NOT LESS THAN

UNDER ROAD	80% DENSITY
OTHER AREA	75% DENSITY

9. THE CONTRACTOR IS TO ALLOW FOR COMPACTION TESTING BY NATA REGISTERED LABORATORY FOR PLATFORMS AND FILL LAYERS IN ACCORDANCE WITH THE LATEST VERSION OF AS3798 - FOR TYPE 1 OPERATIONS (MINIMUM 3 TESTS PER LAYER).

10. FREQUENCY OF COMPACTION TESTING SHALL NOT BE LESS THAN:

- 1 TEST PER 200m² OF FILL PLACED PER LAYER OF FILL
- 3 TESTS PER VISIT
- 1 TEST PER 1000m² OF EXPOSED SUBGRADE

11. TESTING SHALL BE "LEVEL 1" UNDERTAKEN IN ACCORDANCE WITH AS 3798.

12. WHERE TEST RESULTS ARE BELOW THE SPECIFIED COMPACTION, RECOMPACT AND RETEST UNTIL SPECIFIED COMPACTION STANDARD IS ACHIEVED.

13. ALLOW FOR EXCAVATION IN ALL MATERIALS AS FOUND U.N.O. NO ADDITIONAL PAYMENTS WILL BE MADE FOR EXCAVATION IN WET OR HARD GROUND.

14. WHERE THERE IS INSUFFICIENT EXCAVATED MATERIAL, SUITABLE FOR FILLING OR SUBGRADE REPLACEMENT, THE CONTRACTOR IS TO ALLOW TO IMPORT FILL. IMPORTED FILL SHALL COMPLY WITH THE FOLLOWING:

- MAXIMUM SIZE 50mm, PASSING 75 MICRON SIEVE (<25%).
- PLASTICITY INDEX BETWEEN 2-15% AND CBR>8
- FREE FROM ORGANIC AND PERISHABLE MATTER.

15. REFER TO THE SITE SPECIFIC GEOTECHNICAL REPORT FOR GENERAL REQUIREMENTS ON SITE PREPARATION AND RE-USE OF EXISTING SITE MATERIAL AS ENGINEERED FILL.

16. THE CONTRACTOR SHALL PROGRAM THE EARTHWORKS OPERATION SO THAT THE WORKING AREAS ARE ADEQUATELY DRAINED DURING THE PERIOD OF CONSTRUCTION. THE SURFACE SHALL BE GRADED AND SEALED OFF TO REMOVE DEPRESSIONS, ROLLER MARKS AND SIMILAR WHICH WOULD ALLOW WATER TO POND AND PENETRATE THE UNDERLYING MATERIAL. ANY DAMAGE RESULTING FROM THE CONTRACTOR NOT OBSERVING THESE REQUIREMENTS SHALL BE RECTIFIED AT THEIR COST.

17. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE AND MAINTAIN THE INTEGRITY OF ALL SERVICES, CONDUITS AND PIPES DURING CONSTRUCTION, SPECIFICALLY DURING THE BACKFILLING AND COMPACTION PROCEDURE. ANY AND ALL DAMAGE TO NEW OR EXISTING SERVICES AS A RESULT OF THESE WORKS SHALL BE REPAIRED BY THE CONTRACTOR AT NO EXTRA COST.

18. PROTECT FINAL SURFACE WITH EITHER A TEMPORARY LOOSE SOIL LAYER OR A GRANULAR SUB-BASE LAYER TO PREVENT DRYING OUT PRIOR TO ON-GROUND SLAB CONSTRUCTION.

STORMWATER DESIGN CRITERIA:

(A) ANNUAL EXCEEDANCE PROBABILITIES (AEP):

10% (1 IN 10)	MINOR (PIPED) NETWORK
1% (1 IN 100)	MAJOR (OVERLAND FLOW) SYSTEM

(B) RAINFALL INTENSITIES:

ARR 2016 RAINFALL FROM BUREAU OF METEOROLOGY WEBSITE.

(C) HYDROLOGIC METHOD:

DRAINS

2. PIPES 375 DIA. AND LARGER TO BE REINFORCED CONCRETE CLASS '2' APPROVED SPIGOT AND SOCKET WITH RUBBER RING JOINTS. U.N.O.

3. PIPES 300 DIA AND LESS SHALL BE DIVV GRADE (CLASS SN8) uPVC WITH SOLVENT WELDED JOINTS.

4. ALL PIPES ARE TO BE UNIFORMLY SUPPORTED ALONG THE LENGTH OF THE BARREL BY SUITABLE FILL MATERIAL. REFER TO BEDDING SUPPORT TYPE.

5. PIPES WITH SOCKETS SHALL BE LAID IN BEDDING WHERE SUITABLE RECESSES HAVE BEEN PROVIDED TO ENSURE PIPES DO NOT BEAR ON THEIR SOCKETS.

6. ALL STORMWATER DRAINAGE LINES UNDER PROPOSED BUILDING SLABS TO BE uPVC PRESSURE PIPE PN6. ENSURE ALL VERTICALS AND DOWNPIPES ARE uPVC PRESSURE PIPE, GRADE 6 FOR A MIN OF 3.0m IN HEIGHT.

7. PIPES TO BE INSTALLED TO TYPE HS2 SUPPORT IN ACCORDANCE WITH AS 3723. IN CASES BACKFILL TRENCH WITH SAND TO 300mm ABOVE PIPE. WHERE PIPE IS UNDER PAVEMENTS BACKFILL REMAINDER OF TRENCH TO UNDERSIDE OF PAVEMENT WITH SAND OR APPROVED GRANULAR MATERIAL COMPACTED IN 150mm LAYERS TO MINIMUM 98% STANDARD MAXIMUM DRY DENSITY IN ACCORDANCE WITH AS 1289 5.2.1. (OR A DENSITY INDEX OF NOT LESS THAN 75).

8. REFER TO AS/NZS 3725 TABLE B1 FOR REQUIRED FILL DEPTHS ABOVE PIPE BARREL PRIOR TO USE OF COMPACTION MACHINERY OR TRAVERSING OF PIPES BY GENERAL SITE EQUIPMENT.

9. WHERE WORKING METHODS REQUIRE HIGHER CLASS PIPE. THE CONTRACTOR SHALL REFER TO AS 3725 TO DETERMINE THE APPROPRIATE PIPE CLASS. PROPOSED PIPE CLASS SHALL BE SUBMITTED TO THE SUPERINTENDENT FOR APPROVAL PRIOR TO INSTALLATION.

10. ALL INTERNAL WORKS WITHIN PROPERTY BOUNDARIES ARE TO COMPLY WITH THE REQUIREMENTS OF AS/NZS 3500.3.

11. PRECAST PITS MAY BE USED EXTERNAL TO THE BUILDING SUBJECT TO APPROVAL BY THE SUPERINTENDENT.

12. ENLARGERS, CONNECTIONS AND JUNCTIONS TO BE PREFABRICATED FITTINGS WHERE PIPES ARE LESS THAN 300 DIA.

13. SUBSOIL DRAINAGE LINES SHALL BE INSTALLED BEHIND ALL KERBS EXCEPT WHERE STORMWATER DRAINAGE IS LOCATED ALONG THE KERBLINE.

14. A MINIMUM OF 3m OF SUBSOIL LINE SHALL BE LAID INTO UPSTREAM SIDE OF ALL DRAINAGE PITS.

15. FLUSHING POINTS SHALL BE INSTALLED TO COUNCIL SPECIFICATION.

16. WHERE SUBSOIL DRAINS PASS UNDER FLOOR SLABS AND VEHICULAR PAVEMENTS, UNLOTTED uPVC PRESSURE PIPE PN6 IS TO BE USED.

17. CARE IS TO BE TAKEN WITH LEVELS OF STORMWATER LINES. GRADES SHOWN ARE NOT TO BE REDUCED WITHOUT APPROVAL.

18. GRATES AND COVERS SHALL CONFORM TO AS 3996.

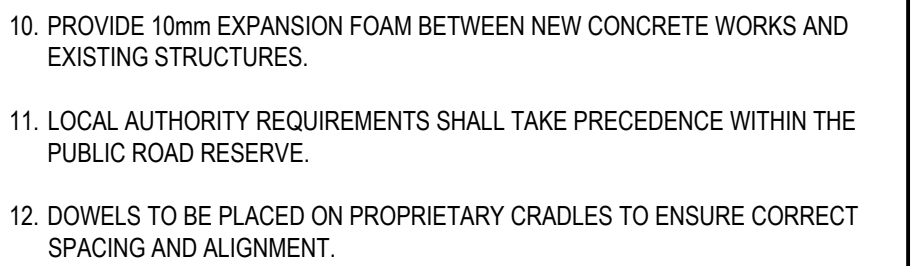
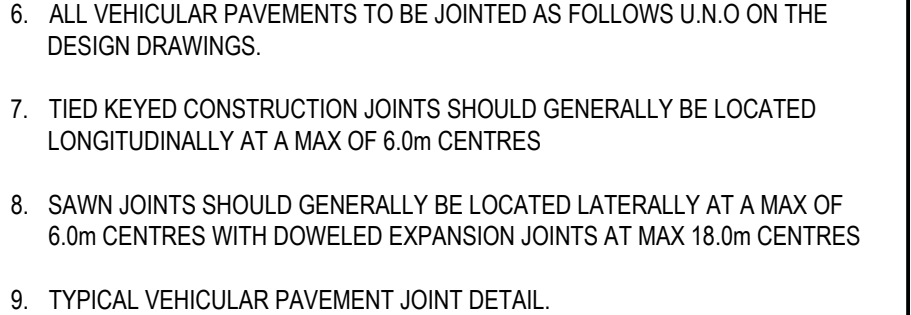
19. ALL BOX CULVERTS SHALL BE STRUCTURALLY DESIGNED BY THE MANUFACTURER AND DELIVERED TO SITE AS FIT FOR PURPOSE.

20. AT ALL TIMES DURING CONSTRUCTION OF STORMWATER PITS, ADEQUATE SAFETY PROCEDURES SHALL BE TAKEN TO ENSURE AGAINST THE POSSIBILITY OF PERSONNEL FALLING DOWN PITS.

21. ALL EXISTING STORMWATER DRAINAGE LINES AND PITS THAT ARE TO REMAIN ARE TO BE INSPECTED AND CLEANED. DURING THIS PROCESS ANY PART OF THE STORMWATER DRAINAGE SYSTEM THAT WARRANTS REPAIR SHALL BE REPORTED TO THE SUPERINTENDENT/ENGINEER FOR FURTHER DIRECTIONS.

1. ALL KERBS, GUTTERS, DISH DRAINS AND CROSSINGS TO BE CONSTRUCTED ON **175mm GRANULAR BASECOURSE COMPACTED TO MINIMUM 95% MODIFIED DRY DENSITY (AS 1289 5.2.1).**
2. EXPANSION JOINTS (E.J.) TO BE FORMED FROM 10mm COMPRESSIBLE FOAM FILLER BOARD FOR THE FULL DEPTH OF THE SECTION AND CUT TO PROFILE. EXPANSION JOINTS TO BE LOCATED AT DRAINAGE PITS, ON TANGENT POINTS OF CURVES AND ELSEWHERE AS SPECIFIED BY COUNCIL EXCEPT FOR INTEGRAL KERBS WHERE THE EXPANSION JOINTS ARE TO MATCH THE JOINT LOCATIONS IN THE SLABS.
3. WEAKENED PLANE JOINTS TO BE MIN 3mm WIDE AND LOCATED AS SPECIFIED BY COUNCIL EXCEPT FOR INTEGRAL KERBS WHERE THE WEAKENED PLANE JOINTS ARE TO MATCH THE JOINT LOCATIONS IN THE SLABS.
4. EXISTING ALLOTMENT DRAINAGE PIPES ARE TO BE BUILT INTO THE NEW KERB AND GUTTER WITH 100mm DIA HOLE OR IN ACCORDANCE WITH LOCAL AUTHORITY REQUIREMENTS.
5. IN THE REPLACEMENT OF KERB AND GUTTER -
EXISTING ROAD PAVEMENT IS TO BE SAWCUT 600mm U.O.F FROM THE LIP OF GUTTER, UPON COMPLETION OF THE NEW KERB AND GUTTER NEW BASECOURSE AND SURFACE TO BE LAID 600mm WIDE U.O.F.

1. ALL PEDESTRIAN PAVEMENTS ARE TO BE JOINTED AS FOLLOWS U.N.O ON THE DESIGN DRAWINGS.
2. EXPANSION JOINTS ARE TO BE LOCATED WHERE POSSIBLE AT TANGENT POINTS OF CURVES AND ELSEWHERE AT MAX. 6.0m CENTRES.
3. WEAKENED PLANE JOINTS ARE TO BE LOCATED AT A MAX. SPACING OF 1.5 x WIDTH OF THE PAVEMENT.
4. WHERE POSSIBLE JOINTS SHOULD BE LOCATED TO MATCH KERBING AND OR ADJACENT PAVEMENT JOINTS.
5. TYPICAL PEDESTRIAN PAVEMENT JOINT DETAIL.



1. ALL ASPHALTIC CONCRETE (AC) WORK TO BE PREPARED AND CARRIED OUT IN ACCORDANCE WITH GOOD ASPHALTIC PAVING PRACTICE AS DESCRIBED IN AS2734 "ASPHALT (HOT-MIXED) PAVING - GUIDE TO GOOD PRACTICE" AND CURRENT TNSW SPECIFICATIONS.
2. **PAVEMENT PREPARATION**
 - A) THE EXISTING SURFACE TO BE SEALED SHALL BE WITHIN +/- 2% OF THE OPTIMUM AND BROOMED BEFORE COMMENCEMENT OF WORK TO ENSURE COMPLETE REMOVAL OF ALL SUPERFICIAL FOREIGN MATTER.
 - B) PRIME ALL SURFACES TO BE SEALED. ALLOW PRIME TO SETTLE FOR A MINIMUM OF 3 DAYS BEFORE APPLYING TACK COAT AND ASPHALT.
 - C) SWEEP PRIMED SURFACES BEFORE APPLYING TACK COAT.
 - D) ALL DEPRESSIONS OR UNEVEN AREAS ARE TO BE TACK-COATED AND BROUGHT UP TO GENERAL LEVEL OF PAVEMENT WITH ASPHALTIC CONCRETE BEFORE LAYING OF MAIN COURSE.
 - E) ALL DEFECTS IN THE BASE COURSE INCLUDING CRACKS, SURFACE DEFORMATION AND THE LIKE SHALL BE REPAIRED AS DIRECTED BY THE SUPERINTENDENT PRIOR TO PLACEMENT OF TACK COAT AND/OR AC COURSES.
3. **PLACEMENT**
 - A) ALL ASPHALT SHALL BE PLACED UTILISING APPROVED MECHANICAL PAVING MACHINES. DO NOT HAND PLACE ASPHALT WITHOUT PRIOR APPROVAL FROM ENGINEER.

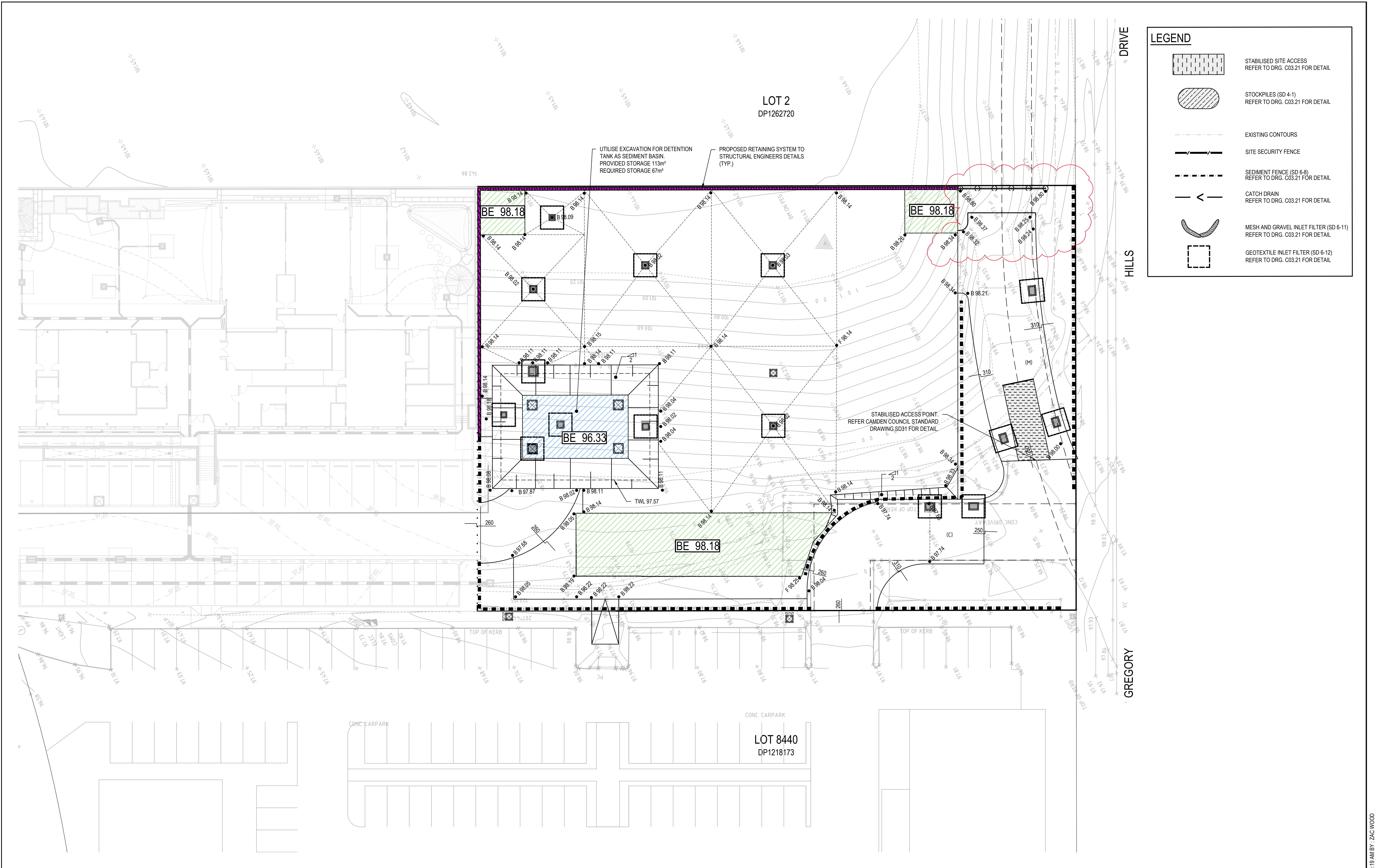
- A) THE NUMBER OF JOINTS BOTH LONGITUDINAL AND TRANSVERSE SHALL BE KEPT TO A MINIMUM.
- B) THE DENSITY AND SURFACE FINISH AT JOINTS SHALL BE SIMILAR TO THOSE OF THE REMAINDER OF THE LAYER.

- A) ALL COMPACTION SHALL BE UNDERTAKEN USING SELF PROPELLED ROLLERS.
- B) INITIAL ROLLING SHALL BE COMPLETED BEFORE THE MIX TEMPERATURE FALLS BELOW 105°C USING A STEEL DRUM ROLLER HAVING A MINIMUM WEIGHT OF 8 TONNES AND A MAXIMUM UNIT LOAD ON THE REAR DRUM EQUIVALENT TO 55kN/m WIDTH OF DRUM.
- C) SECONDARY ROLLING SHALL BE COMPLETED BEFORE THE MIX TEMPERATURE FALLS BELOW 80°C USING A PNEUMATIC TYRED ROLLER OF AT LEAST 10 TONNES MASS, A MINIMUM TYRE PRESSURE OF 550kPa AND A MINIMUM TOTAL LOAD OF 1 TONNE ON EACH TYRE.
- D) ROLLED SURFACES SHALL BE SMOOTH AND FREE OF UNDULATIONS. BONY AND UNEVEN SURFACES WILL BE REJECTED.
- E) PROVIDE 2 No. MINIMUM COMPACTION TESTS.

- A) FINISHED SURFACES SHALL BE SMOOTH, DENSE AND TRUE TO SHAPE AND SHALL NOT VARY MORE THAN:
 - A) 3mm FROM THE SPECIFIED PLAN LEVEL AT ANY POINT.
 - B) 3mm FROM THE BOTTOM OF A 3m STRAIGHT EDGE LAID TRANSVERSELY.
 - C) 5mm FROM THE BOTTOM OF A 3m STRAIGHT EDGE LAID LONGITUDINALLY.
 - D) MINUS 0 TO PLUS 2mm ADJACENT TO OTHER ELEMENTS SUCH AS KERBS AND THE LIKE TO AVOID POOLING OF SURFACE WATER.
 - E) MINUS 0 FROM THE SPECIFIED THICKNESS.
7. DO NOT STORE PLANT EQUIPMENT OR TRAFFIC NEWLY LAID ASPHALTIC CONCRETE PAVEMENTS WITHOUT PRIOR APPROVAL FROM THE ENGINEER.
8. DO NOT APPLY MARKING PAINTS UNTIL ASPHALT HAS CURED IN ACCORDANCE WITH PAINT MANUFACTURER'S SPECIFICATIONS.

1. LINE MARKING AND PAINT SHALL BE IN ACCORDANCE WITH AS 2700 AND AS 4049 AND TNSW SPECIFICATIONS.
2. ALL PAINT SHALL BE APPLIED BY MECHANICAL SPRAYER.
3. LINE MARKING SHALL BE SPOTTED OUT AND APPROVED PRIOR TO SPRAYING.
4. PAINT SHALL BE APPLIED AT A WET THICKNESS OF BETWEEN 0.35mm TO 0.40mm.
5. TRANSITION LINEMARKING TO SUIT EXISTING WHERE REQUIRED ALL SIGNAGE TO BE INSTALLED IN ACCORDANCE WITH AUSTRALIAN STANDARDS.
6. REMOVE ALL REDUNDANT PAVEMENT MARKING AS REQUIRED.
7. PROVIDE RETRO-REFLECTORISED PAVEMENT MARKERS TO COUNCIL AND TNSW REQUIREMENTS.
8. ALL LINEMARKING TO BE WHITE IN COLOUR WITH THE EXCEPTION OF C2 AND C3 LINES ARE TO BE YELLOW.
9. CARPARK LINEMARKING PAINT SHALL BE TYPE 3, CLASS A, AND THE COLOUR SHALL BE WHITE AND NOT DISCOLOURED BY BITUMEN. EACH LINE SHALL BE 80mm WIDE.
10. ALL SIGNAGE TO BE IN ACCORDANCE WITH THE CURRENT VERSION OF THE TNSW REGULATORY SIGNS MANUAL.
11. RELOCATE OR REMOVE EXISTING SIGNS AS REQUIRED.
12. PROVIDE ADEQUATE APPROACH WARNING SIGNS DURING AND AFTER CONSTRUCTION.

Status	
<p style="text-align: center;">FOR INFORMATION ONLY NOT TO BE USED FOR CONSTRUCTION</p>	
Project Number/Drawing Number	Revision
230026-DA-C01.11	3



REV	DATE	DESCRIPTION	DRN	DES	VERIF	APPD
4	22/03/2024	TEMPORARY WALL ADDED. DA ISSUE.	NAF	AD	MKH	MKH
3	20/11/2023	ISSUED FOR DEVELOPMENT APPLICATION	NAF	AD	MKH	MKH
2	1/09/2023	ISSUED FOR DEVELOPMENT APPLICATION	CB	EZ	MKH	MKH
1	24/05/2023	ISSUED FOR COORDINATION	NPH	EBO	MHO	

Client

SOMA
WELLNESS

Scale

0 5 10 15 20m

SCALE 1:200 @A1

North

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Project
8 GREGORY HILLS DRIVE
GLEDSDOOD HILLS N.S.W.
SOMA CHILDCARE CENTRE

Title
BULK EARTHWORKS EROSION AND SEDIMENT
CONTROL PLAN

Scale
1: 200

Date
24/05/2023

Size
A1

Datum
MGA94

Status
FOR INFORMATION ONLY
NOT TO BE USED FOR CONSTRUCTION

Project Number/Drawing Number
230026-DA-C03.01

Revision
4

1. Erosion Hazard and Sediment Basins

Site Name:

SOMA STAGE 3 - Childcare Centre

Site Location:

Gregory Hills Drive, Camden

Precinct/Stage:

Other Details:

Site area	Sub-catchment or Name of Structure	Notes
Total catchment area (ha)	SB01	
Disturbed catchment area (ha)	0.35	

Soil analysis (enter sediment type if known, or laboratory particle size data)

Sediment Type (C, F or D) if known:	D						From Appendix C (if known)
% sand (fraction 0.02 to 2.00 mm)	29						Enter the percentage of each soil fraction. E.g. enter 10 for 10%
% silt (fraction 0.002 to 0.02 mm)	29						
% clay (fraction finer than 0.002 mm)	29						E.g. enter 10 for dispersion of 10%
Dispersion percentage	10.0						See Section 6.3.3(e). Auto-calculated
% of whole soil dispersible	4.35						Automatic calculation from above
Soil Texture Group	D						

Rainfall data

Design rainfall depth (no of days)	5						See Section 6.3.4 and, particularly, Table 6.3 on pages 6-24 and 6-25.
Design rainfall depth (percentile)	75						
x-day, y-percentile rainfall event (mm)	20.2						Only need to enter one or the other here
Rainfall R-factor (if known)							
IFD: 2-year, 6-hour storm (if known)	9.5						

RUSLE Factors

Rainfall erosivity (R-factor)	2020						Auto-filled from above
Soil erodibility (K-factor)	0.075						RUSLE LS factor calculated for a high rill/interrill ratio.
Slope length (m)	65						
Slope gradient (%)	5.6						
Length/gradient (LS-factor)	1.20						
Erosion control practice (P-factor)	1.3	1.3	1.3	1.3	1.3	1.3	
Ground cover (C-factor)	1	1	1	1	1	1	

Sediment Basin Design Criteria (for Type D/F basins only. Leave blank for Type C basins)

Storage (soil) zone design (no of months)	2						Minimum is generally 2 months
Cv (Volumetric runoff coefficient)	0.79						See Table F2, page F-4 in Appendix F

Calculations and Type D/F Sediment Basin Volumes

Soil loss (t/ha/yr)	236						See Table 4.2, page 4-13
Soil Loss Class	3						
Soil loss (m ³ /ha/yr)	182						Conversion to cubic metres
Sediment basin storage (soil) volume (m ³)	11						See Sections 6.3.4(i) for calculations
Sediment basin settling (water) volume (m ³)	56						See Sections 6.3.4(i) for calculations
Sediment basin total volume (m ³)	67						

NB for sizing of Type C (coarse) sediment basins, see Worksheet 3 (if required).

CONSTRUCTION NOTES

- CONSTRUCT THE STRAW BALE FILTER AS CLOSE AS POSSIBLE TO BEING PARALLEL TO THE CONTOURS OF THE SITE.
- PLACE BALES LENGTHWISE IN A ROW WITH ENDS TIGHTLY ABUTTING. USE STRAW TO FILL ANY GAPS BETWEEN BALES. STRAWS ARE TO BE PLACED PARALLEL TO GROUND.
- ENSURE THAT THE MAXIMUM HEIGHT OF THE FILTER IS ONE BALE.
- EMBED EACH BALE IN THE GROUND 75mm TO 100mm AND ANCHOR WITH TWO 1.2 METRE STAR PICKETS OR STAKES. ANGLE THE FIRST STAR PICKET OR STAKE IN EACH BALE TOWARDS THE PREVIOUSLY LAID BALE. DRIVE THEM 600mm INTO THE GROUND AND, IF POSSIBLE, FLUSH WITH THE TOP OF THE BALES. WHERE STAR PICKETS ARE USED AND THEY PROTRUDE ABOVE THE BALES, ENSURE THEY ARE FITTED WITH SAFETY CAPS.
- WHERE A STRAW BALE FILTER IS CONSTRUCTED DOWNSLOPE FROM A DISTURBED BATTER, ENSURE THE BALES ARE PLACED 1 TO 2 METRES DOWNSLOPE FROM THE TOE.
- ESTABLISH A MAINTENANCE PROGRAM THAT ENSURES THE INTEGRITY OF THE BALES IS RETAINED - THEY COULD REQUIRE REPLACEMENT EACH TWO TO FOUR MONTHS.

STRAW BALE FILTER (SD 6-7)

CONSTRUCTION NOTES

- FABRICATE A SEDIMENT BARRIER MADE FROM GEOTEXTILE OR STRAW BALES.
- FOLLOW STANDARD DRAWING 6-7 AND STANDARD DRAWING 6-8 FOR INSTALLATION PROCEDURES FOR THE STRAW BALES OR GEOFABRIC. REDUCE THE PICKET SPACING TO 1 METRE CENTRES.
- IN WATERWAYS, ARTIFICIAL SAG POINTS CAN BE CREATED WITH SANDBAGS OR EARTH BANKS AS SHOWN IN THE DRAWING.
- DO NOT COVER THE INLET WITH GEOTEXTILE UNLESS THE DESIGN IS ADEQUATE TO ALLOW FOR ALL WATERS TO BYPASS IT.

GEOTEXTILE INLET FILTER (SD 6-12)

CONSTRUCTION NOTES

- CONSTRUCT SEDIMENT FENCES AS CLOSE AS POSSIBLE TO BEING PARALLEL TO THE CONTOURS OF THE SITE, BUT WITH SMALL RETURNS AS SHOWN IN THE DRAWING TO LIMIT THE CATCHMENT AREA OF ANY ONE SECTION. THE CATCHMENT AREA SHOULD BE SMALL ENOUGH TO LIMIT WATER FLOW IF CONCENTRATED AT ONE POINT TO 50 LITRES PER SECOND IN THE DESIGN STORM EVENT, USUALLY THE 10-YEAR EVENT.
- CUT A 150mm DEEP TRENCH ALONG THE UPSLOPE LINE OF THE FENCE FOR THE BOTTOM OF THE FABRIC TO BE ENTRENCHED.
- DRIVE 1.5 METRE LONG STAR PICKETS INTO GROUND AT 2.5 METRE INTERVALS (MAX) AT THE DOWNSLOPE EDGE OF THE TRENCH. ENSURE ANY STAR PICKETS ARE FITTED WITH SAFETY CAPS.
- FIX SELF-SUPPORTING GEOTEXTILE TO THE UPSLOPE SIDE OF THE POSTS ENSURING IT GOES TO THE BASE OF THE TRENCH. FIX THE GEOTEXTILE WITH WIRE TIES OR AS RECOMMENDED BY THE MANUFACTURER. ONLY USE GEOTEXTILE SPECIFICALLY PRODUCED FOR SEDIMENT FENCING. THE USE OF SHADE CLOTH FOR THIS PURPOSE IS NOT SATISFACTORY.
- JOIN SECTIONS OF FABRIC AT A SUPPORT POST WITH A 150mm OVERLAP.
- BACKFILL THE TRENCH OVER THE BASE OF THE FABRIC AND COMPACT IT THOROUGHLY OVER THE GEOTEXTILE.

SEDIMENT FENCE (SD 6-8)

CONSTRUCTION NOTES

- INSTALL FILTERS TO KERB INLETS ONLY AT SAG POINTS.
- FABRICATE A SLEEVE MADE FROM GEOTEXTILE OR WIRE MESH LONGER THAN THE LENGTH OF THE INLET PIT AND FILL IT WITH 25mm TO 50mm GRAVEL.
- FORM AN ELLIPTICAL CROSS-SECTION ABOUT 150mm HIGH x 400mm WIDE.
- PLACE THE FILTER AT THE OPENING LEAVING AT LEAST A 100mm SPACE BETWEEN IT AND THE KERB INLET. MAINTAIN THE OPENING WITH SPACER BLOCKS.
- FORM A SEAL WITH THE KERB TO PREVENT SEDIMENT BYPASSING THE FILTER.
- SANDBAGS FILLED WITH GRAVEL CAN SUBSTITUTE FOR THE MESH OR GEOTEXTILE PROVIDING THEY ARE PLACED SO THAT THEY FIRMLY ABUT EACH OTHER AND SEDIMENT-LADEN WATERS CANNOT PASS BETWEEN.

MESH AND GRAVEL INLET FILTER (SD 6-11)

REV.	DATE	DESCRIPTION	DRN.	DES.	VERIF.	APPD.
3	20/11/2023	ISSUED FOR DEVELOPMENT APPLICATION	NAF	AD	MKH	MKH
2	1/09/2023	ISSUED FOR DEVELOPMENT APPLICATION	CB	EZ	MKH	MKH
1	24/05/2023	ISSUED FOR COORDINATION	NPH	EBO	MHO	MHO

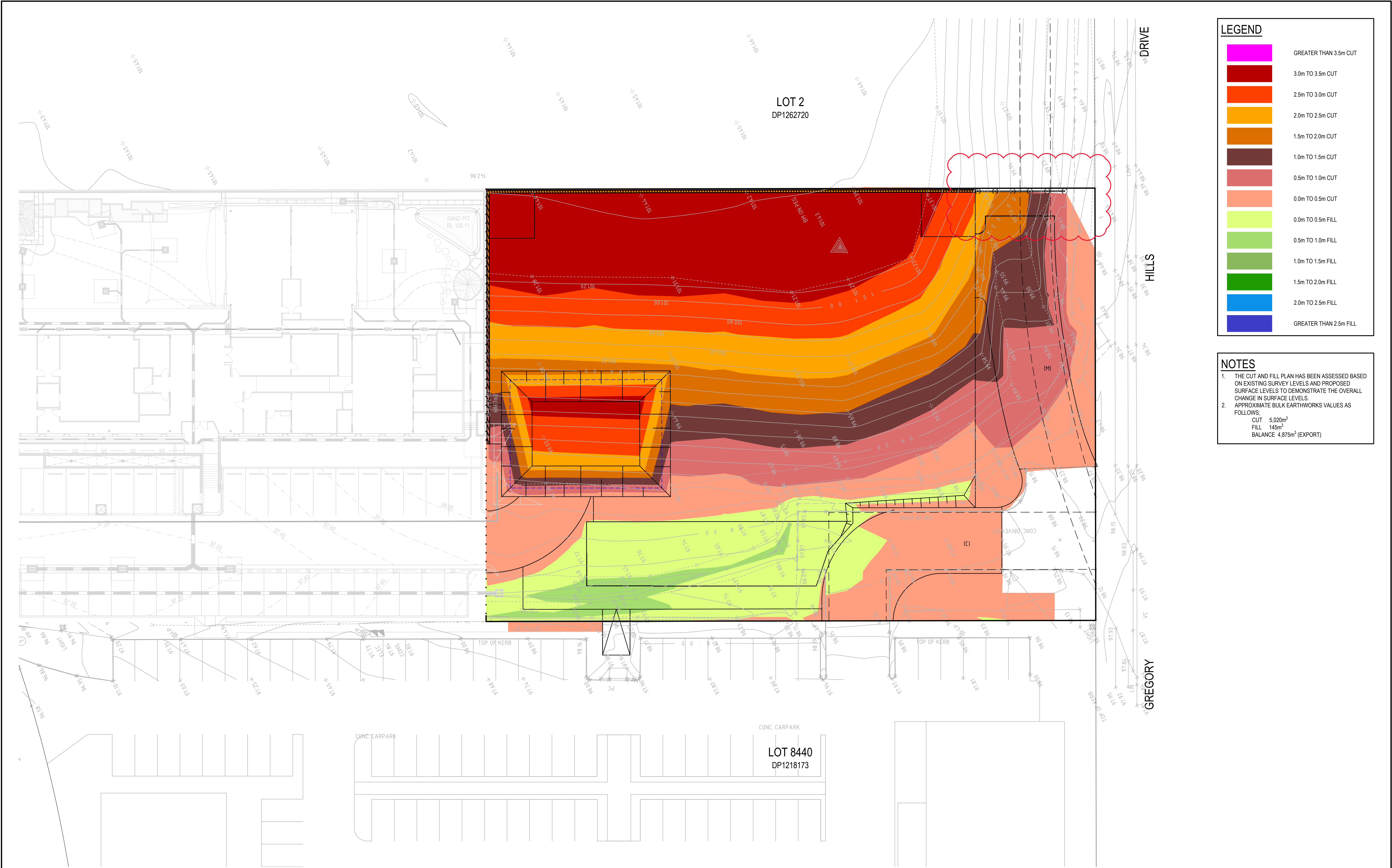
Scale	North
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Project 8 GREGORY HILLS DRIVE GLEDSDOOD HILLS N.S.W. SOMA CHILDCARE CENTRE	Scale N.T.S. Date 24/05/2023	Status FOR INFORMATION ONLY NOT TO BE USED FOR CONSTRUCTION
Title EROSION AND SEDIMENT CONTROL DETAILS	Size A1 Datum MGA94	Project Number/Drawing Number 230026-DA-C03.21

Revision 3

CAD File: P:\230026 SOMAStage3\ID-Civil\00-SiteWide\Drawings\6-DACC\01-DA\230026-00-DA-C03.21 EROSION AND SEDIMENT CONTROL DETAILS.dwg

DATE PLOTTED: 20 November 2023 3:22 PM BY: NILUFA AFRIN



LEGEND

GREATER THAN 3.5m CUT

3.0m TO 3.5m CUT

2.5m TO 3.0m CUT

2.0m TO 2.5m CUT

1.5m TO 2.0m CUT

1.0m TO 1.5m CUT

0.5m TO 1.0m CUT

0.0m TO 0.5m CUT

0.0m TO 0.5m FILL

0.5m TO 1.0m FILL

1.0m TO 1.5m FILL

1.5m TO 2.0m FILL

2.0m TO 2.5m FILL

GREATER THAN 2.5m FILL

NOTES

1. THE CUT AND FILL PLAN HAS BEEN ASSESSED BASED ON EXISTING SURVEY LEVELS AND PROPOSED SURFACE LEVELS TO DEMONSTRATE THE OVERALL CHANGE IN SURFACE LEVELS.

2. APPROXIMATE BULK EARTHWORKS VALUES AS FOLLOWS:

CUT 5,020m³

FILL 145m³

BALANCE 4,875m³ (EXPORT)

REV.	DATE	DESCRIPTION	DRN.	DES.	VERIF.	APPD.
4	22/03/2024	TEMPORARY WALL ADDED. DA ISSUE.	NAF	AD	MKH	MKH
3	20/11/2023	ISSUED FOR DEVELOPMENT APPLICATION	NAF	AD	MKH	MKH
2	1/09/2023	ISSUED FOR DEVELOPMENT APPLICATION	CB	EZ	MKH	MKH
1	24/05/2023	ISSUED FOR COORDINATION	NPH	EBO	MHO	MHO

Client

Scale

0

5

10

15

20m

SCALE 1:200 @A1

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North

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Project
8 GREGORY HILLS DRIVE
GLEDSDWOOD HILLS N.S.W.
SOMA CHILDCARE CENTRE

Title
CUT AND FILL PLAN

Scale
N.T.S.

Date
24/05/2023

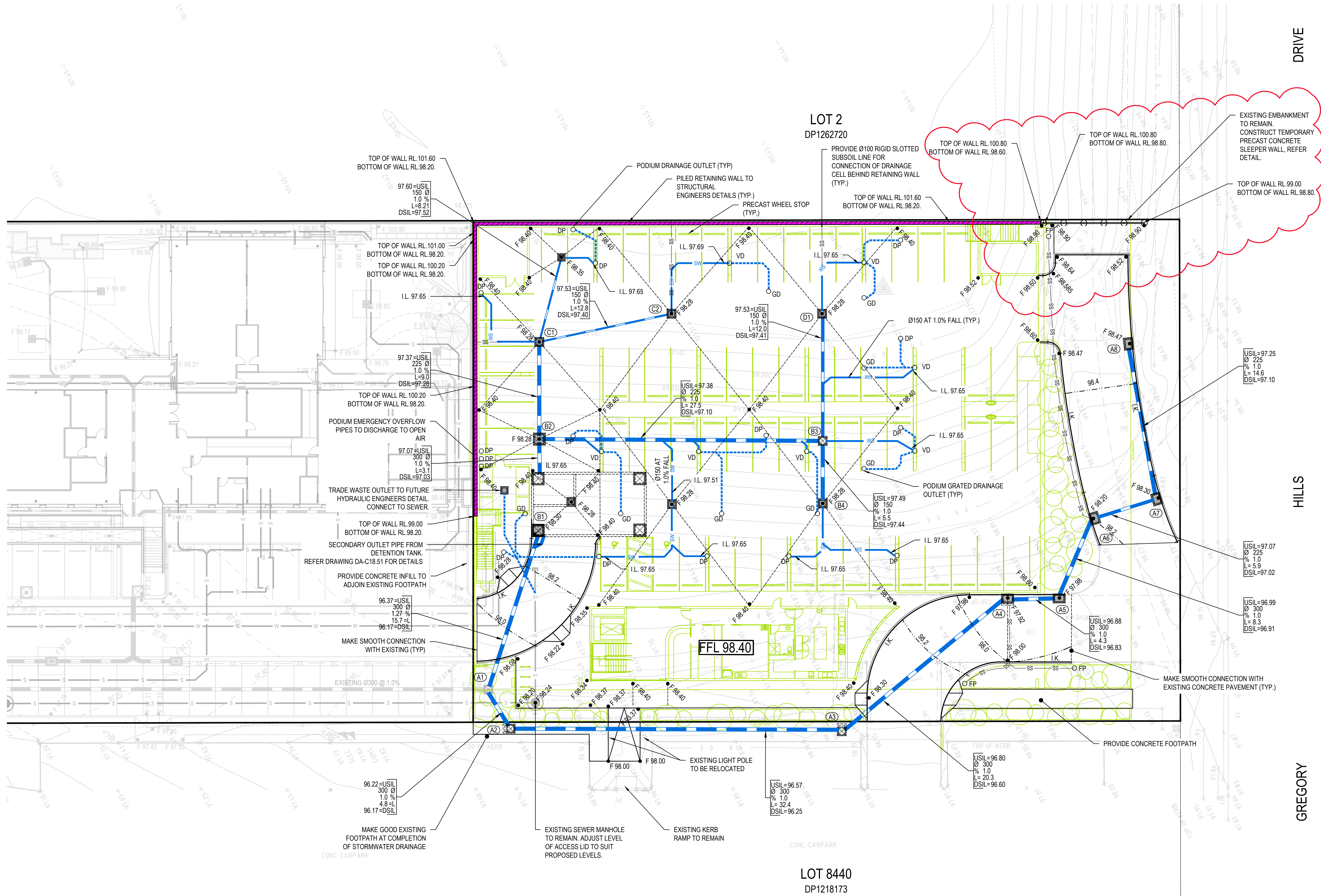
Size
A1

Datum
MGA94

Status
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Project Number/Drawing Number
230026-DA-C04.01

Revision
4



LEGEND

SITE BOUNDARY

FUTURE BOUNDARY

CONTOUR

BATTER

RETAINING WALL TYPE - 1

RETAINING WALL TYPE - 2

RETAINING WALL TO STRUCTURAL ENGINEERS DETAILS

K&G

DISH CROSSING

KO

KERB RAMP

LBK

FINISHED LEVEL CATCH DRAIN

PIPE SIZE STORMWATER DRAINAGE LINE FLOW DIRECTION

SUSPENDED STORMWATER PIPE

GRATED SURFACE INLET PIT

JUNCTION PIT

GRATED TRENCH DRAIN

PIPE DIAMETER

UPSTREAM INVERT LEVEL

PIPE GRADE

DOWNSTREAM INVERT LEVEL

PODIUM LEVEL GRATED DRAIN OUTLET

DOWN PIPE

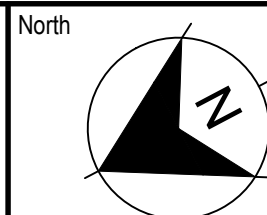
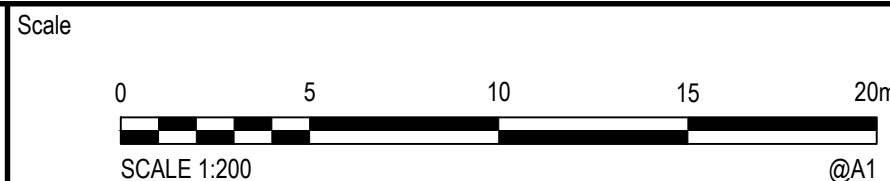
FLUSH POINT

VERTICAL DROP

NOTES

ALL SURFACE INLET PITS TO INCLUDE PROTECTOR "TRAPIT" PIT INSERT.

7	22/03/2024	TEMPORARY WALL ADDED. DA ISSUE.	NAF	AD	MKH	MKH
6	5/03/2024	ISSUED FOR DEVELOPMENT APPLICATION	MKH	MKH	MKH	MKH
5	5/03/2024	ISSUED FOR DEVELOPMENT APPLICATION	MKH	MKH	MKH	MKH
4	14/12/2023	ISSUED FOR DEVELOPMENT APPLICATION	NAF	AD	MKH	MKH
3	20/11/2023	ISSUED FOR DEVELOPMENT APPLICATION	NAF	AD	MKH	MKH
2	1/09/2023	ISSUED FOR DEVELOPMENT APPLICATION	CB	EZ	MKH	MKH
1	24/05/2023	ISSUED FOR COORDINATION	NPH	EBO	MHO	MHO
REV.	DATE	DESCRIPTION	DRN.	DES.	VERIF.	APPD.



enspire

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Project
8 GREGORY HILLS DRIVE
GLEDSDWOOD HILLS N.S.W.
SOMA CHILDCARE CENTRE

Title
SITWORKS AND STORMWATER MANAGEMENT PLAN
GROUND FLOOR LEVEL

Scale
1: 200

Date
24/05/2023

Size
A1

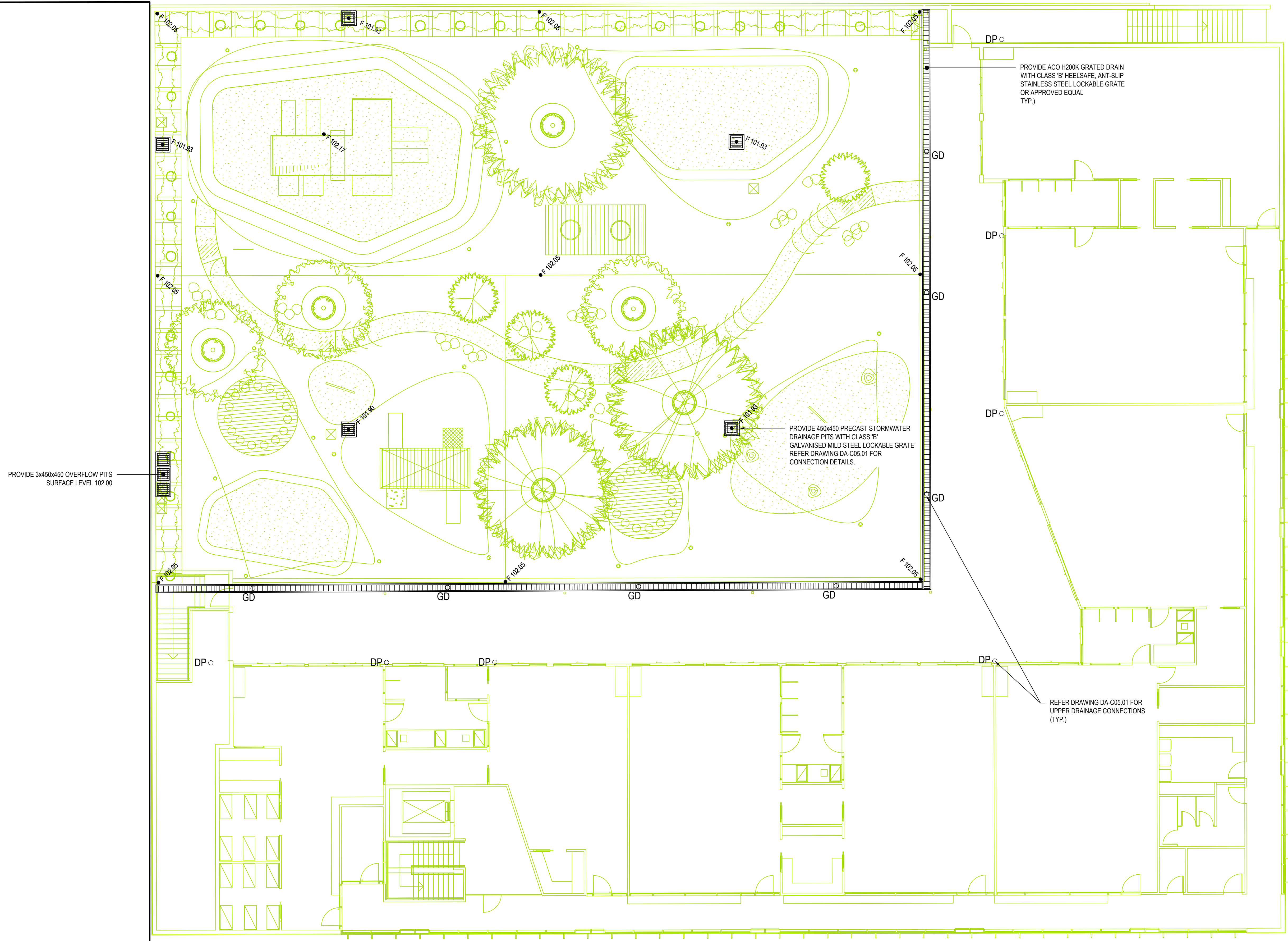
Datum
MGA94

Status
FOR INFORMATION ONLY
NOT TO BE USED FOR CONSTRUCTION

Project Number/Drawing Number
230026-DA-C05.01

Revision
7

NOTES
ALL SURFACE INLET PITS TO INCLUDE
PROTECTOR 'TRAPIT' PIT INSERT.




REV.	DATE	DESCRIPTION	DRN.	DES.	VERIF.	APPD.
4	14/12/2023	ISSUED FOR DEVELOPMENT APPLICATION	NAF	AD	MKH	MKH
3	20/11/2023	ISSUED FOR DEVELOPMENT APPLICATION	NAF	AD	MKH	MKH
2	1/09/2023	ISSUED FOR DEVELOPMENT APPLICATION	CB	EZ	MKH	MKH
1	24/05/2023	ISSUED FOR COORDINATION	NPH	EBO	MHO	MHO

Client



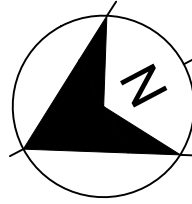
SOMA
WELLNESS

Scale



0 1 2 4 6 8 10m
SCALE 1:100 @A1

North



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Project
8 GREGORY HILLS DRIVE
GLEDSDWOOD HILLS N.S.W.
SOMA CHILDCARE CENTRE

Title
PODIUM AND ROOF PLAN

Scale
1: 100

Date
24/05/2023

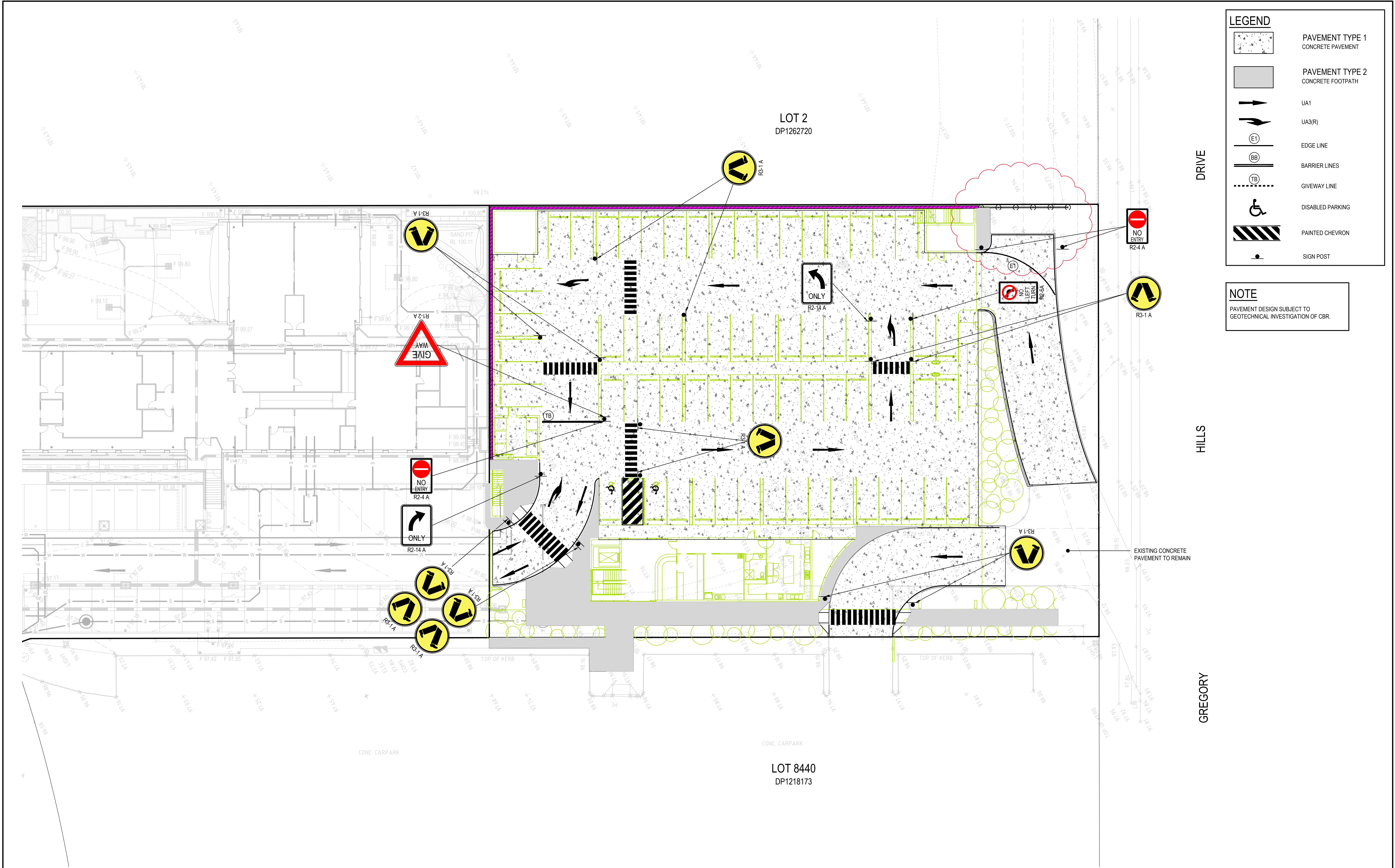
Size
A1

Datum
MGA94

Status
FOR INFORMATION ONLY
NOT TO BE USED FOR CONSTRUCTION

Project Number/Drawing Number
230026-DA-C05.11

Revision
4



LEGEND

PAVEMENT TYPE 1
CONCRETE PAVEMENT

PAVEMENT TYPE 2
CONCRETE FOOTPATH

UA1

UA3(R)

EDGE LINE

BARRIER LINES

GIVEWAY LINE

DISABLED PARKING

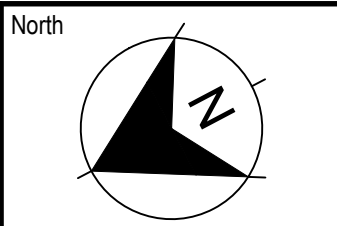
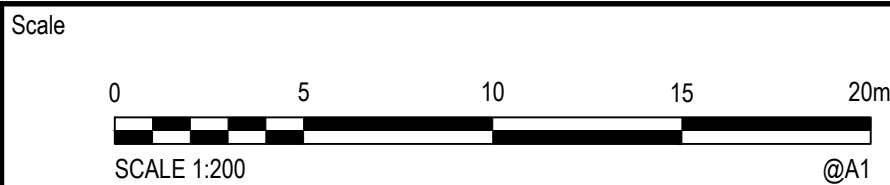
PAINTED CHEVRON

SIGN POST

NOTE

PAVEMENT DESIGN SUBJECT TO
GEOTECHNICAL INVESTIGATION OF CBR.

REV.	DATE	DESCRIPTION	DRN.	DES.	VERIF.	APPD.
5	22/03/2024	TEMPORARY WALL ADDED. DA ISSUE.	NAF	AD	MKH	MKH
4	14/12/2023	ISSUED FOR DEVELOPMENT APPLICATION	NAF	AD	MKH	MKH
3	20/11/2023	ISSUED FOR DEVELOPMENT APPLICATION	NAF	AD	MKH	MKH
2	1/09/2023	ISSUED FOR DEVELOPMENT APPLICATION	CB	EZ	MKH	MKH
1	24/05/2023	ISSUED FOR COORDINATION	NPH	EBO	MHO	MHO



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Project
8 GREGORY HILLS DRIVE
GLEDSDWOOD HILLS N.S.W.
SOMA CHILDCARE CENTRE

Title
PAVEMENT, SIGNAGE AND LINEMARKING PLAN

Scale
1: 200

Date
24/05/2023

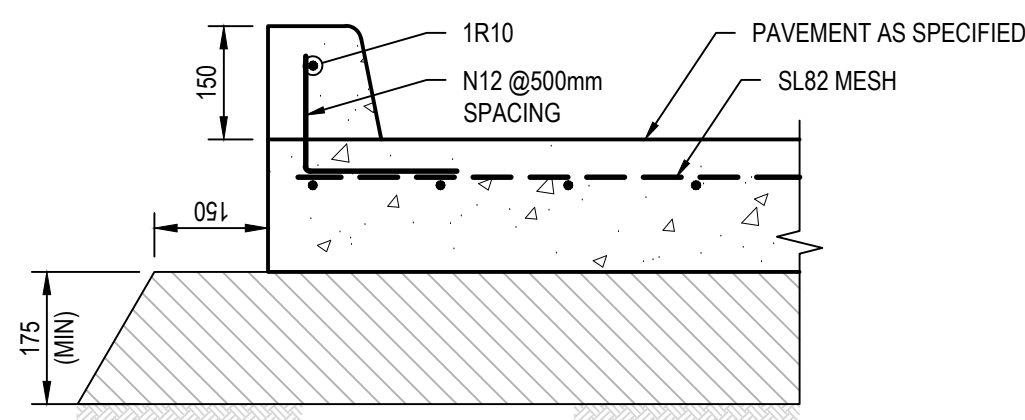
Size
A1

Datum
MGA94

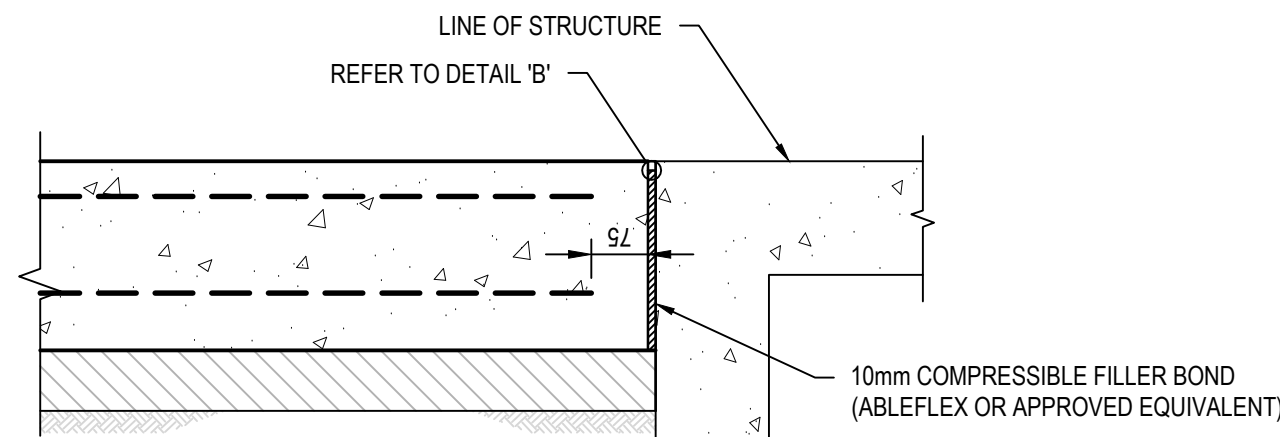
Status
FOR INFORMATION ONLY
NOT TO BE USED FOR CONSTRUCTION

Project Number/Drawing Number
230026-DA-C11.01

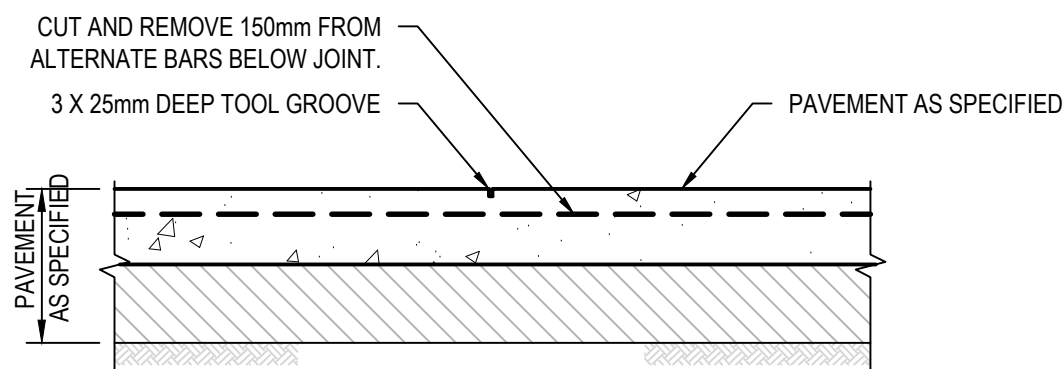
Revision
5



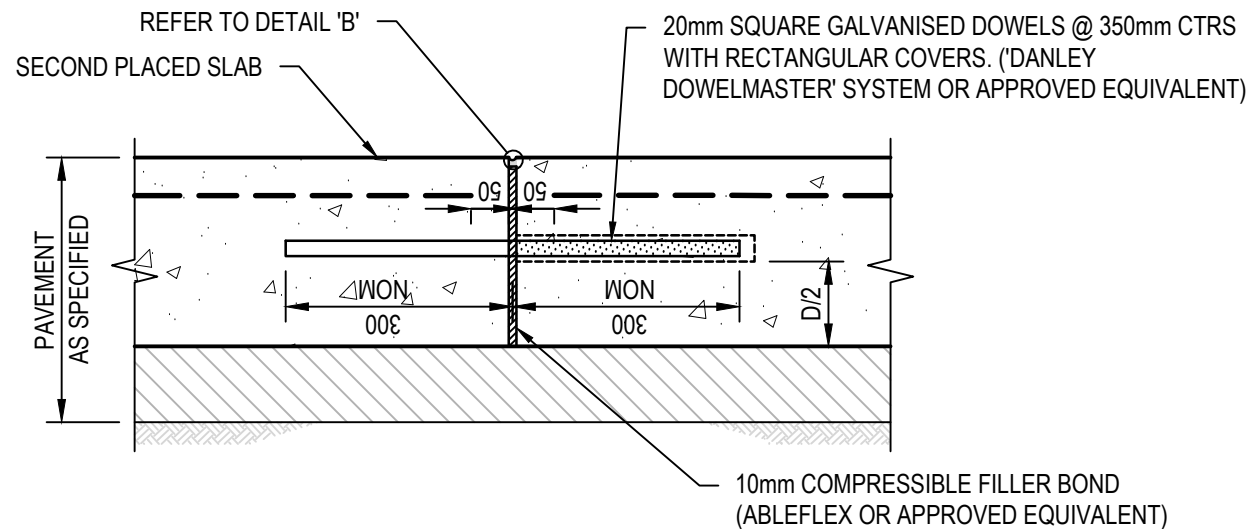
INTEGRAL KERB
SCALE 1:10



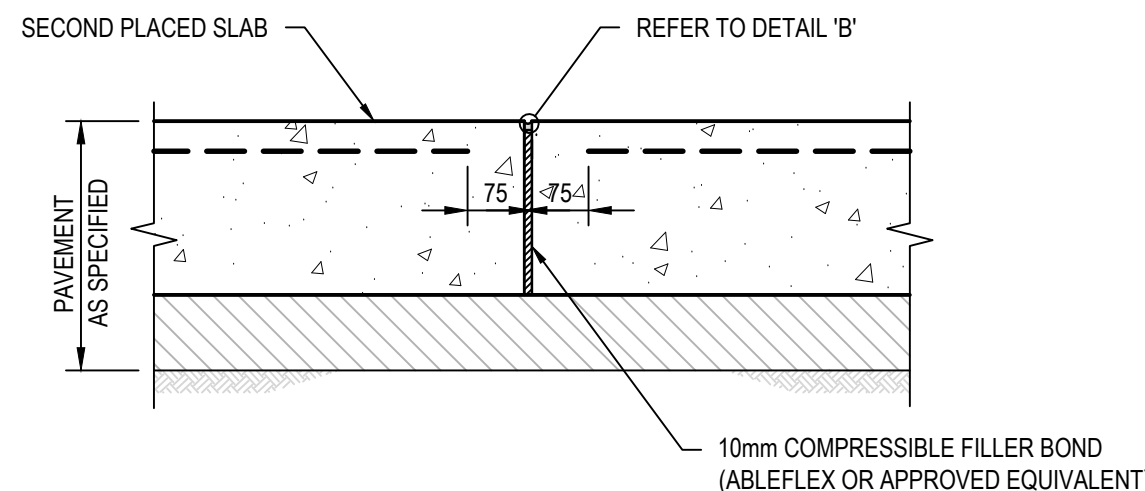
ISOLATION JOINT (IJ)
SCALE 1:10



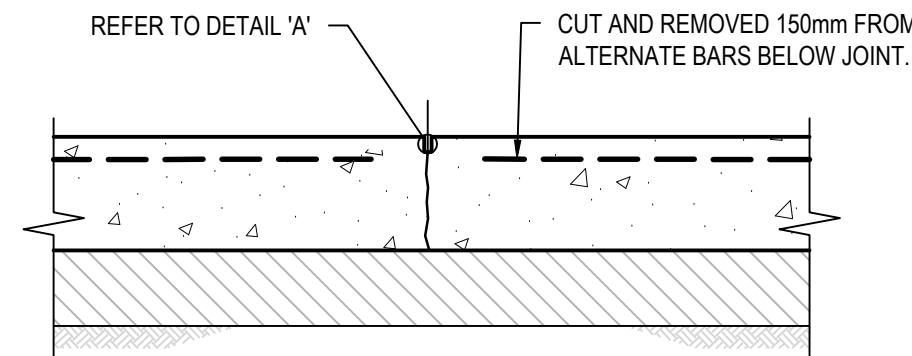
WEAKENED PLANE JOINT (WPJ)
SCALE 1:10



DOWELLED EXPANSION JOINT (DEJ)
SCALE 1:10

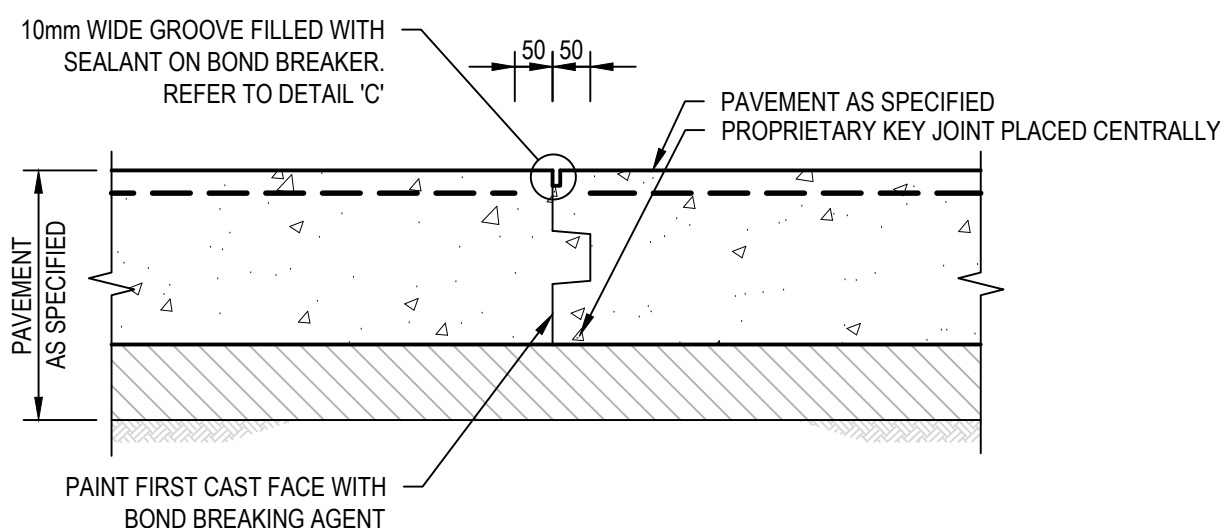


EXPANSION JOINT (EJ1)
SCALE 1:10

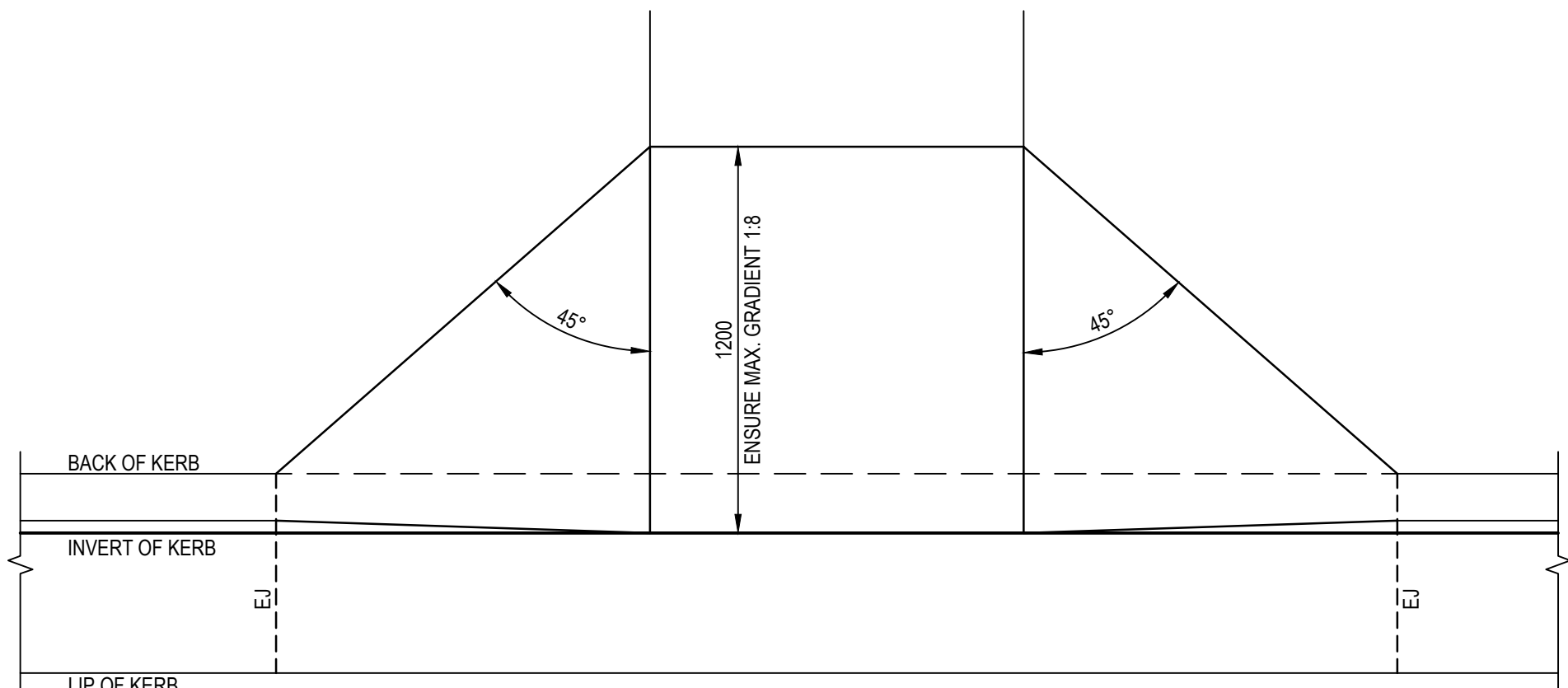


SAWN JOINT (SJ)
SCALE 1:10

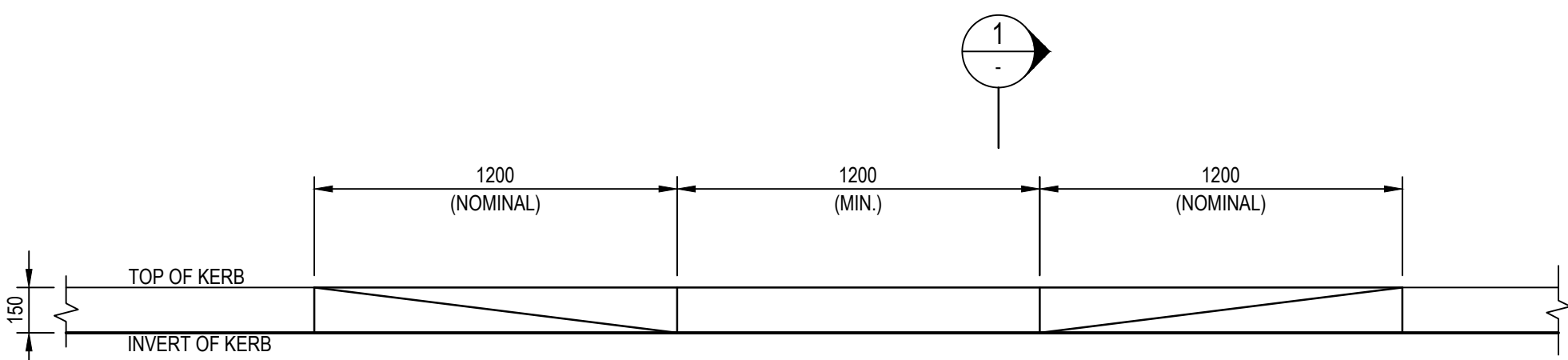
- NOTE:
- EXPANSION JOINT CAN BE REPLACED WITH PROPRIETARY SYSTEM TO ENGINEERS APPROVAL.
 - EXPANSION JOINT TO BE FULL DEPTH.
 - SEEK ENGINEERS APPROVAL FOR USE OF POUR THROUGH JOINTS.



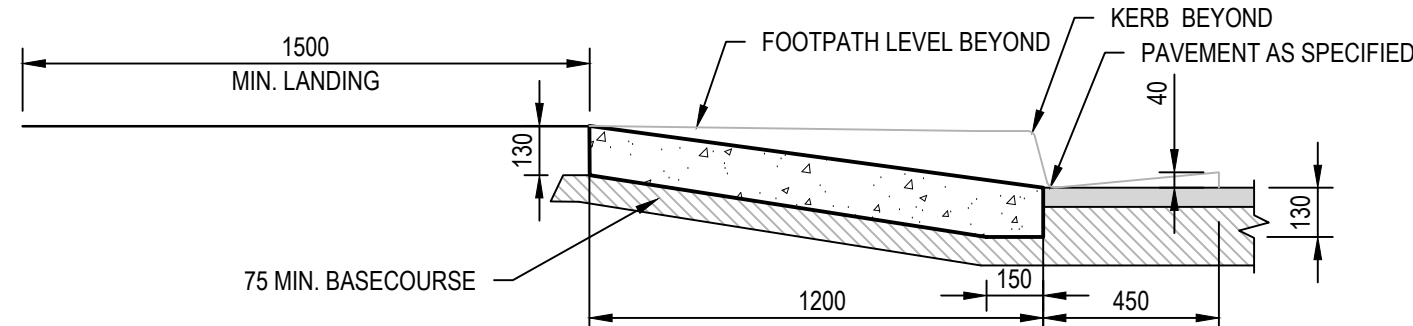
KEYED JOINT (KJ)
SCALE 1:10



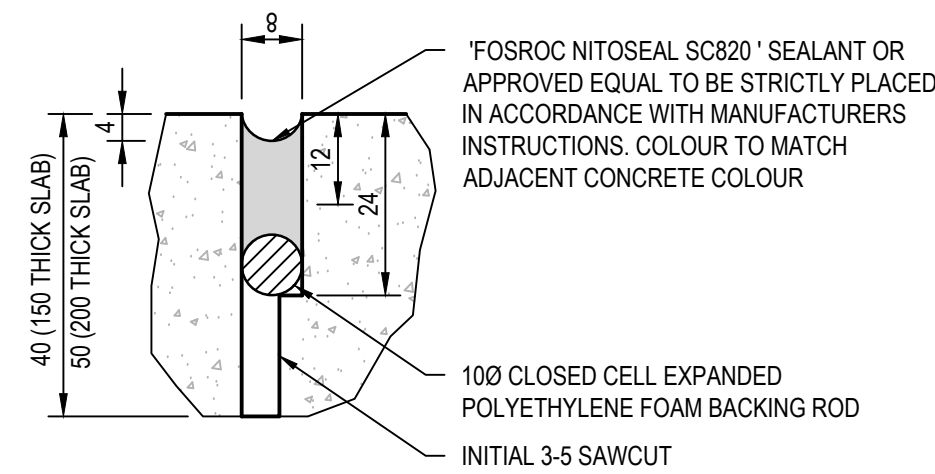
PLAN KERB RAMP
SCALE 1:20



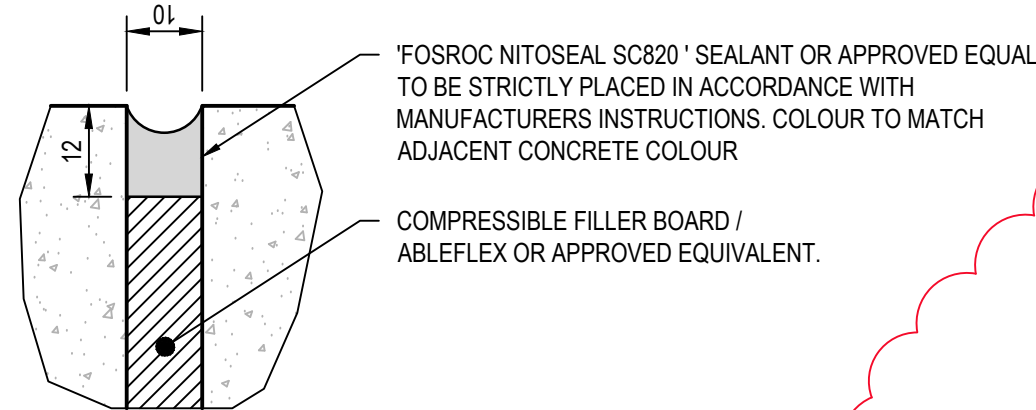
ELEVATION



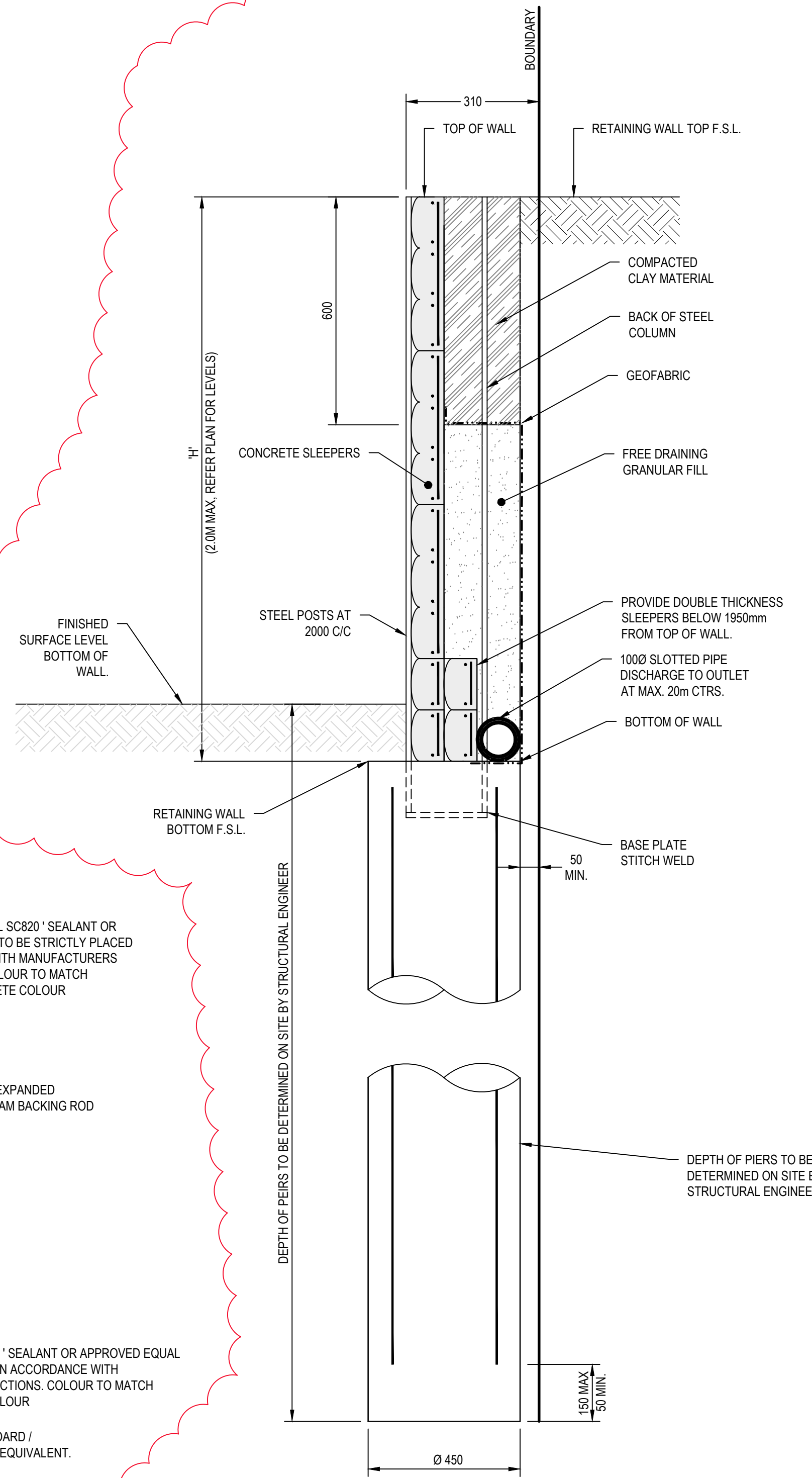
SECTION
SCALE 1:20



DETAIL 'A'
N.T.S

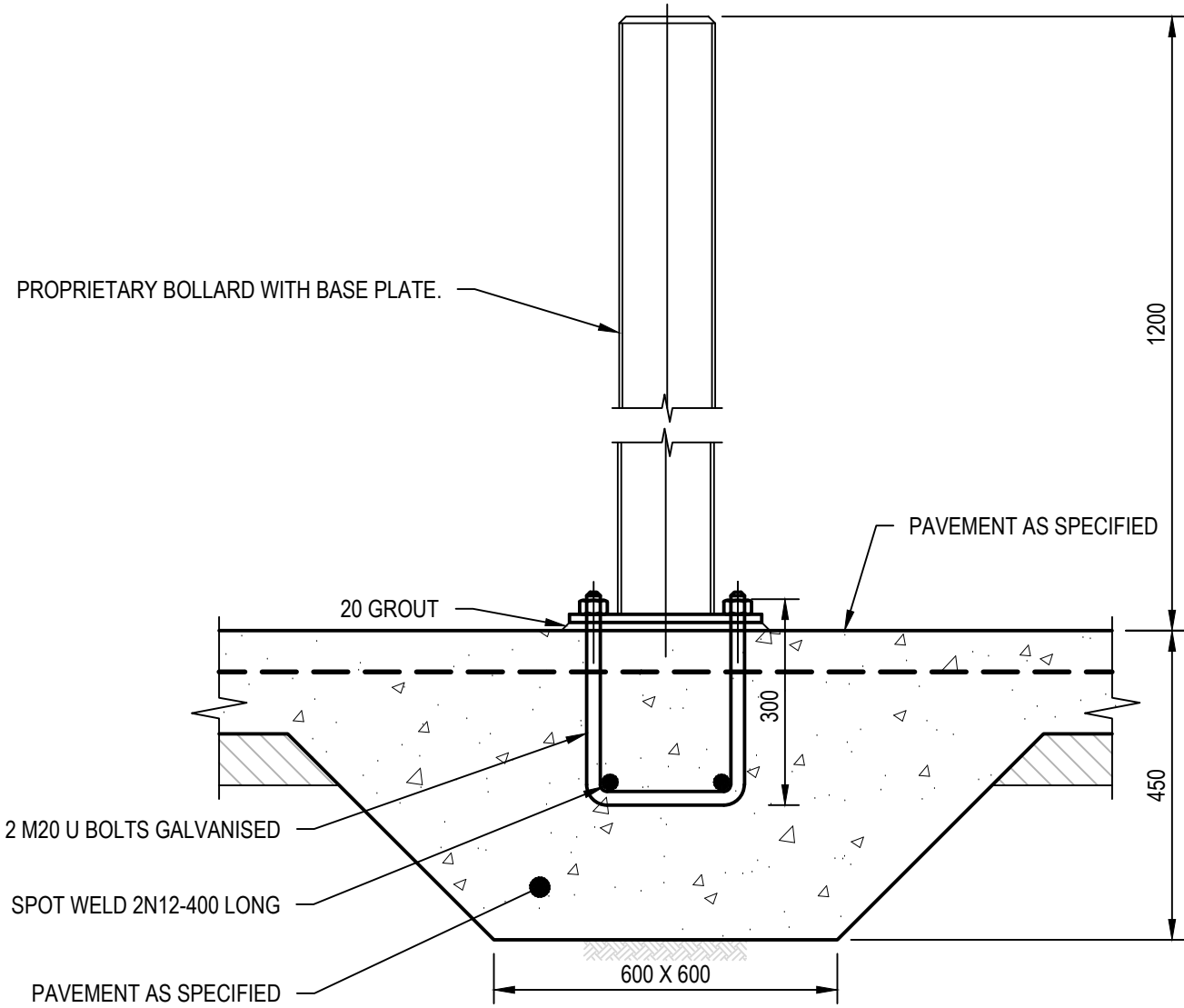


DETAIL 'B'
N.T.S



CONCRETE SLEEPER RETAINING WALL
SCALE 1:10

- NOTE:
- FOR WALL DETAILS REFER TO CONCRIB TECHNICAL DRAWING 'CONCRIB SLEEPERWALL 2006 SYSTEM DETAILS-S1'
 - WALLS TO BE STRUCTURALLY CERTIFIED BY WALL SUPPLIER PRIOR TO CONSTRUCTION.

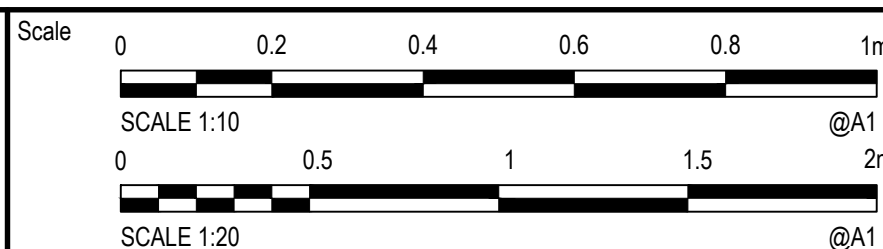


PERMANENT BOLLARD TO CONCRETE PAVEMENT
SCALE 1:10

- NOTE:
- BOLT SETOUT TO SUIT BASEPLATE BOLT HOLES.

REV.	DATE	DESCRIPTION	DRN.	DES.	VERIF.	APPD.
4	22/03/2024	WALL DETAIL ADDED, DA ISSUE.	NAF	AD	MKH	MKH
3	20/11/2023	ISSUED FOR DEVELOPMENT APPLICATION	NAF	AD	MKH	MKH
2	1/09/2023	ISSUED FOR DEVELOPMENT APPLICATION	CB	EZ	MKH	MKH
1	24/05/2023	ISSUED FOR COORDINATION	NPH	EBO	MHO	MHO

Client



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North



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Project
8 GREGORY HILLS DRIVE
GLEDSDWOOD HILLS N.S.W.
SOMA CHILDCARE CENTRE

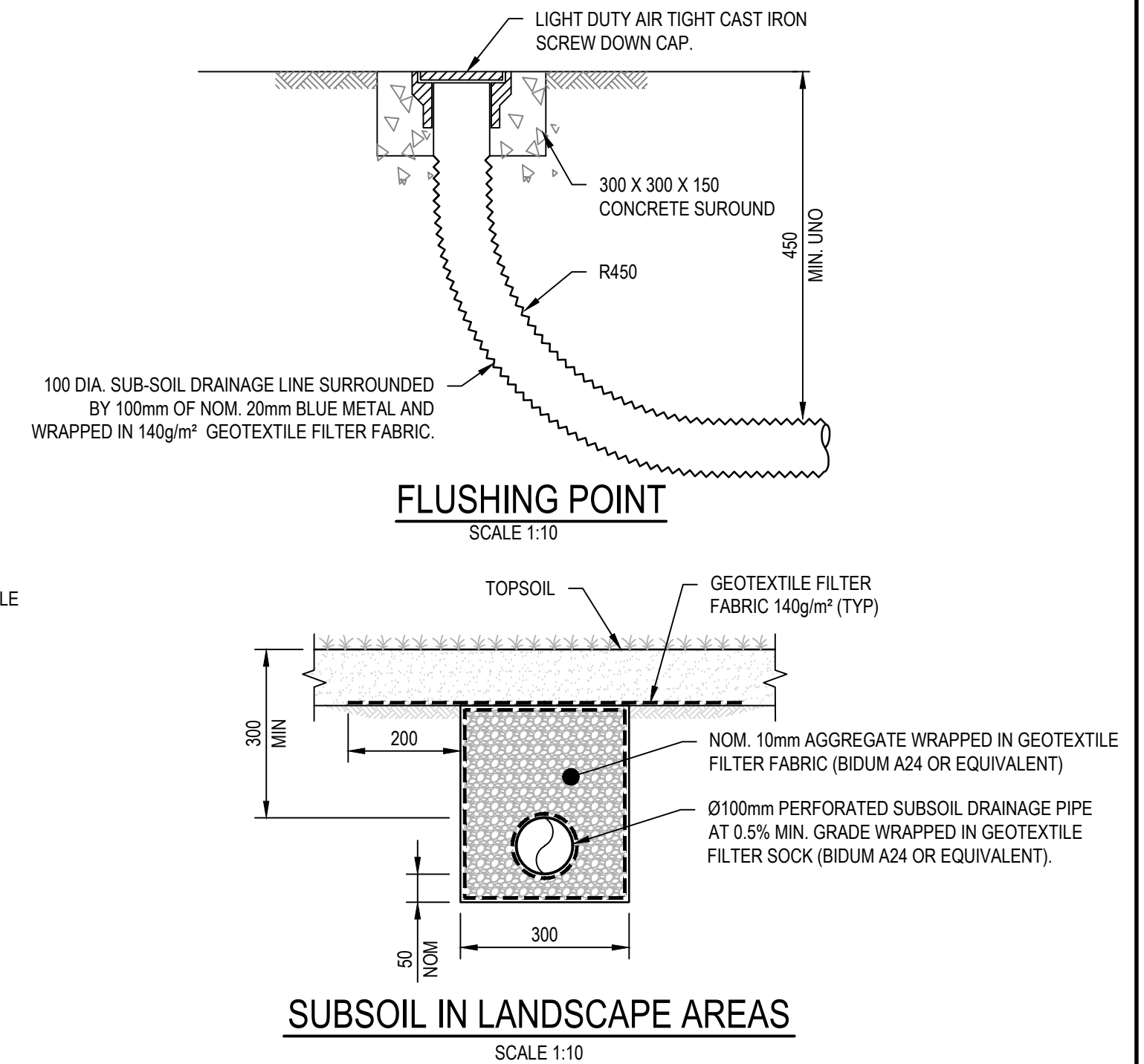
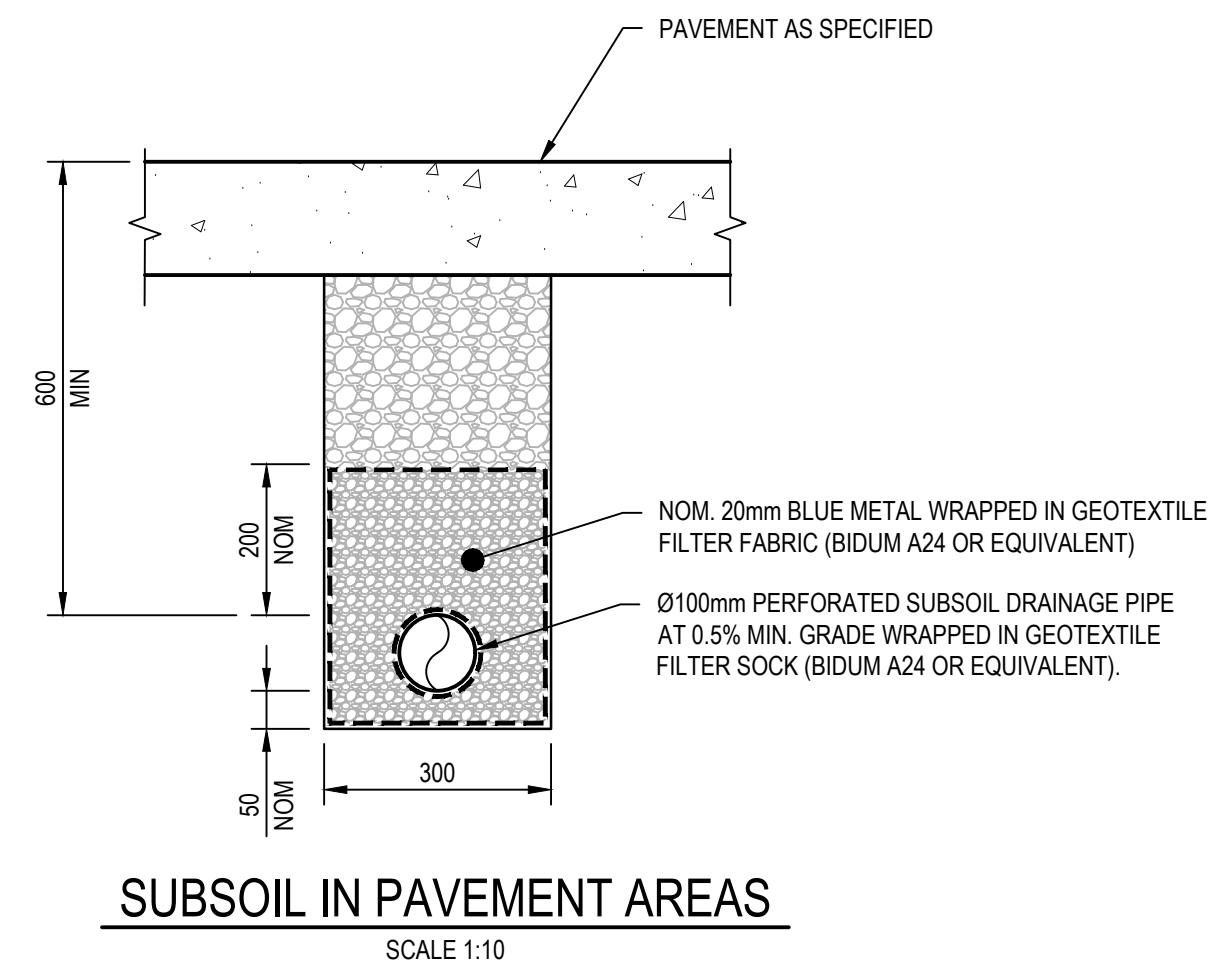
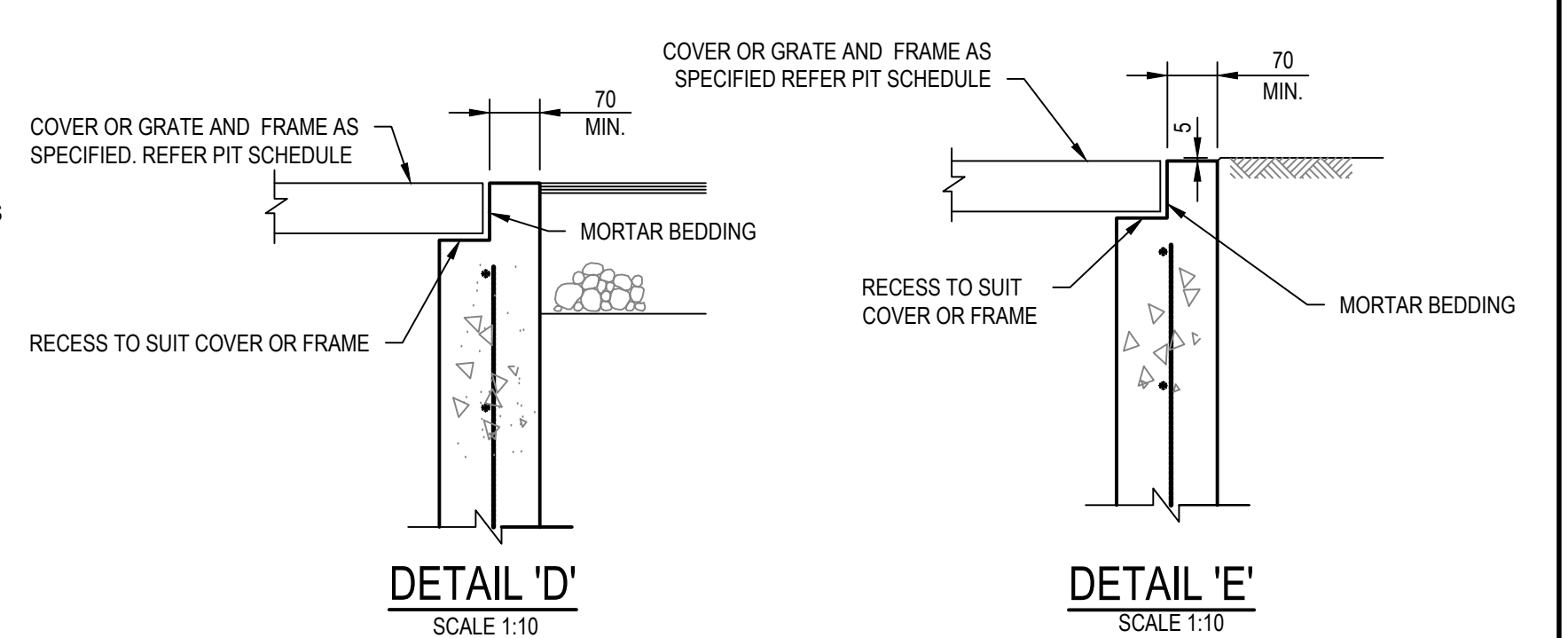
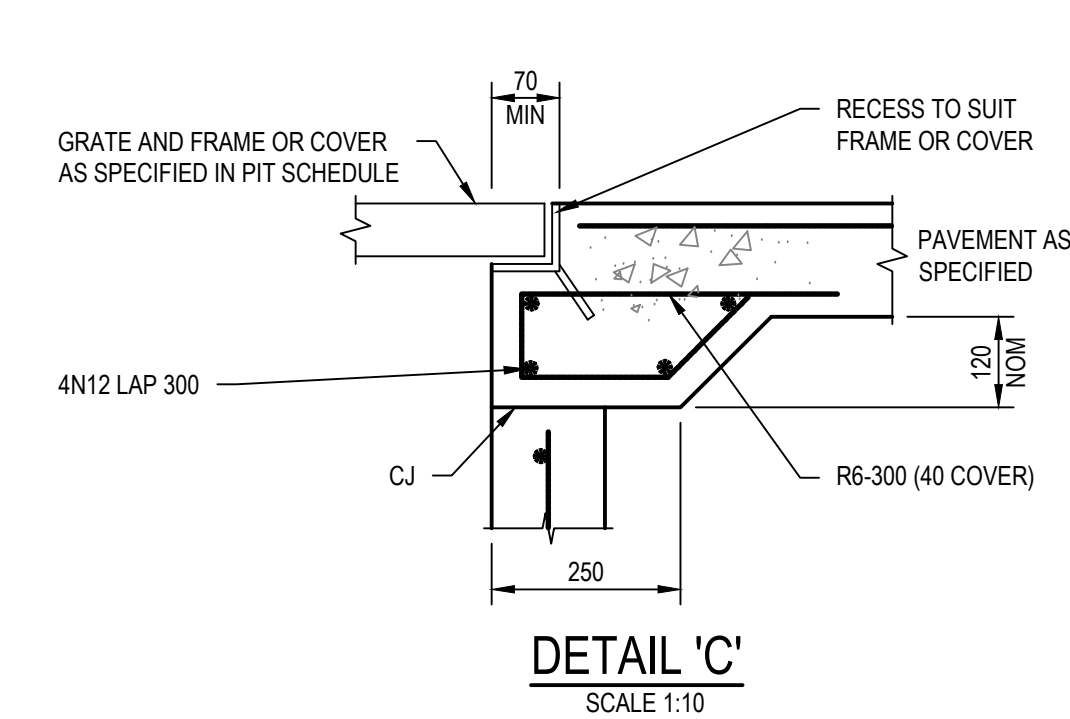
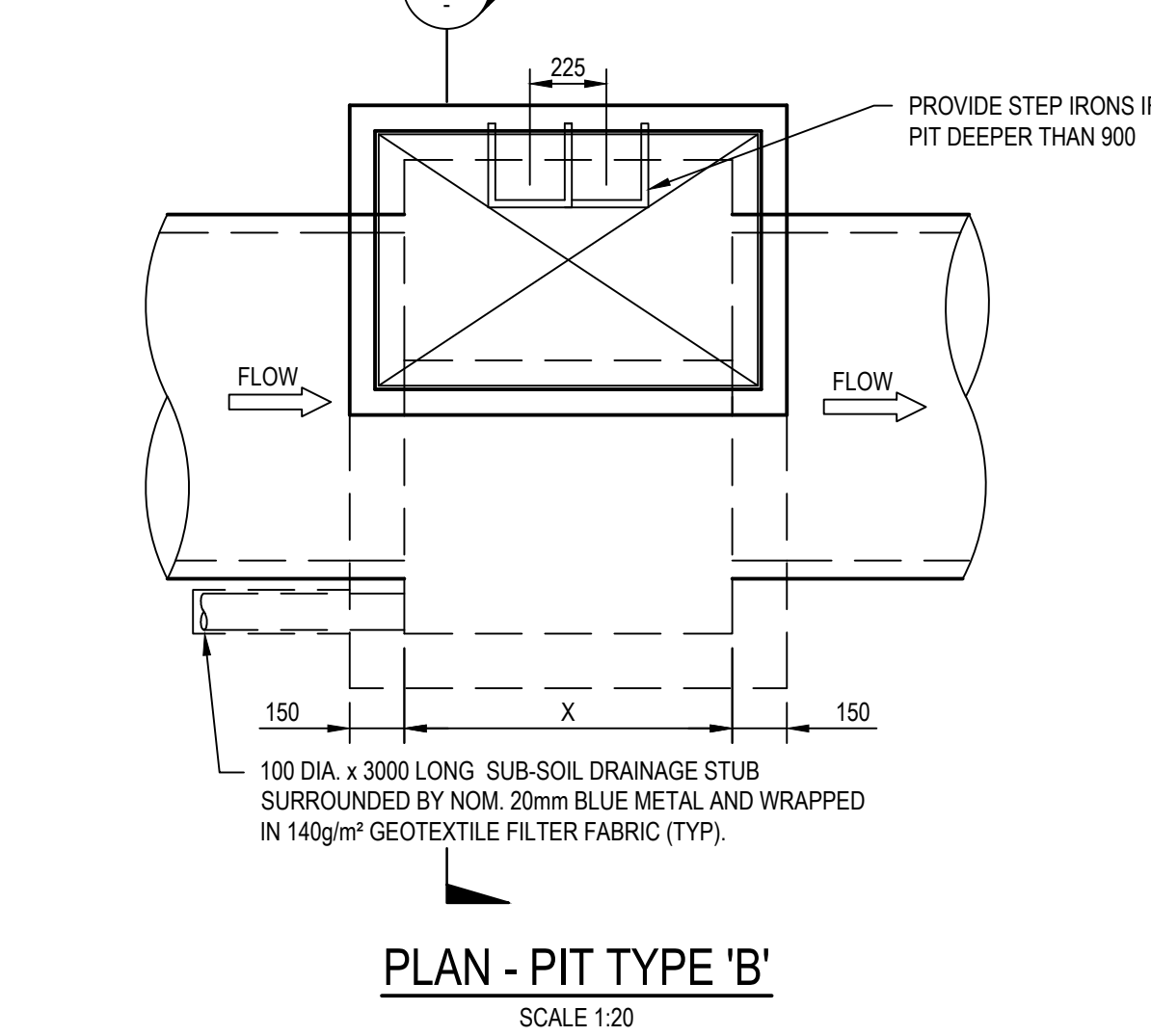
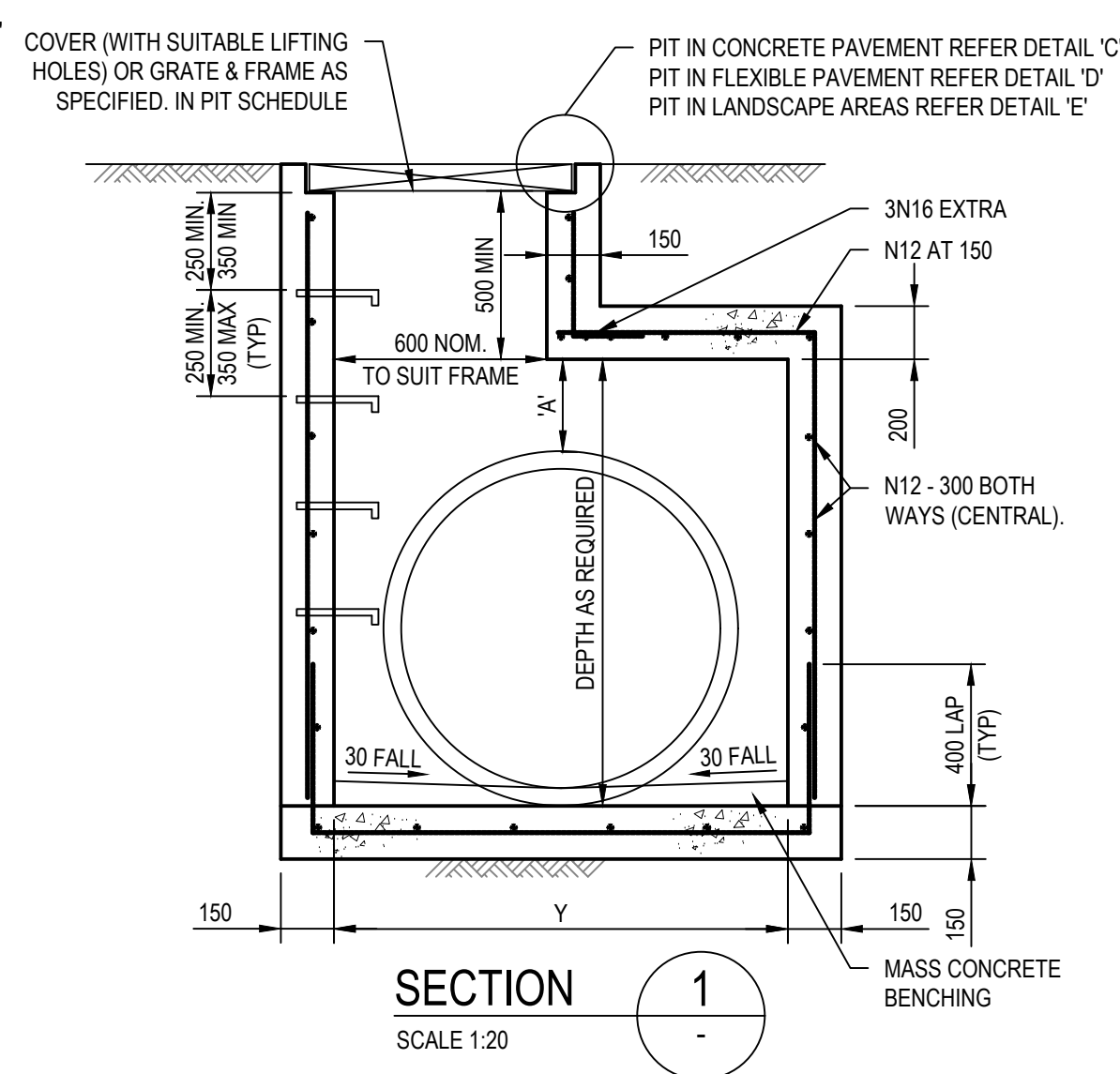
Title
SITWORKS AND STORMWATER DETAILS
SHEET 01

Scale
AS SHOWN
Date
24/05/2023
Size
A1
Datum
MGA94

Status
FOR INFORMATION ONLY
NOT TO BE USED FOR CONSTRUCTION

Project Number/Drawing Number
230026-DA-C14.01

Revision
4

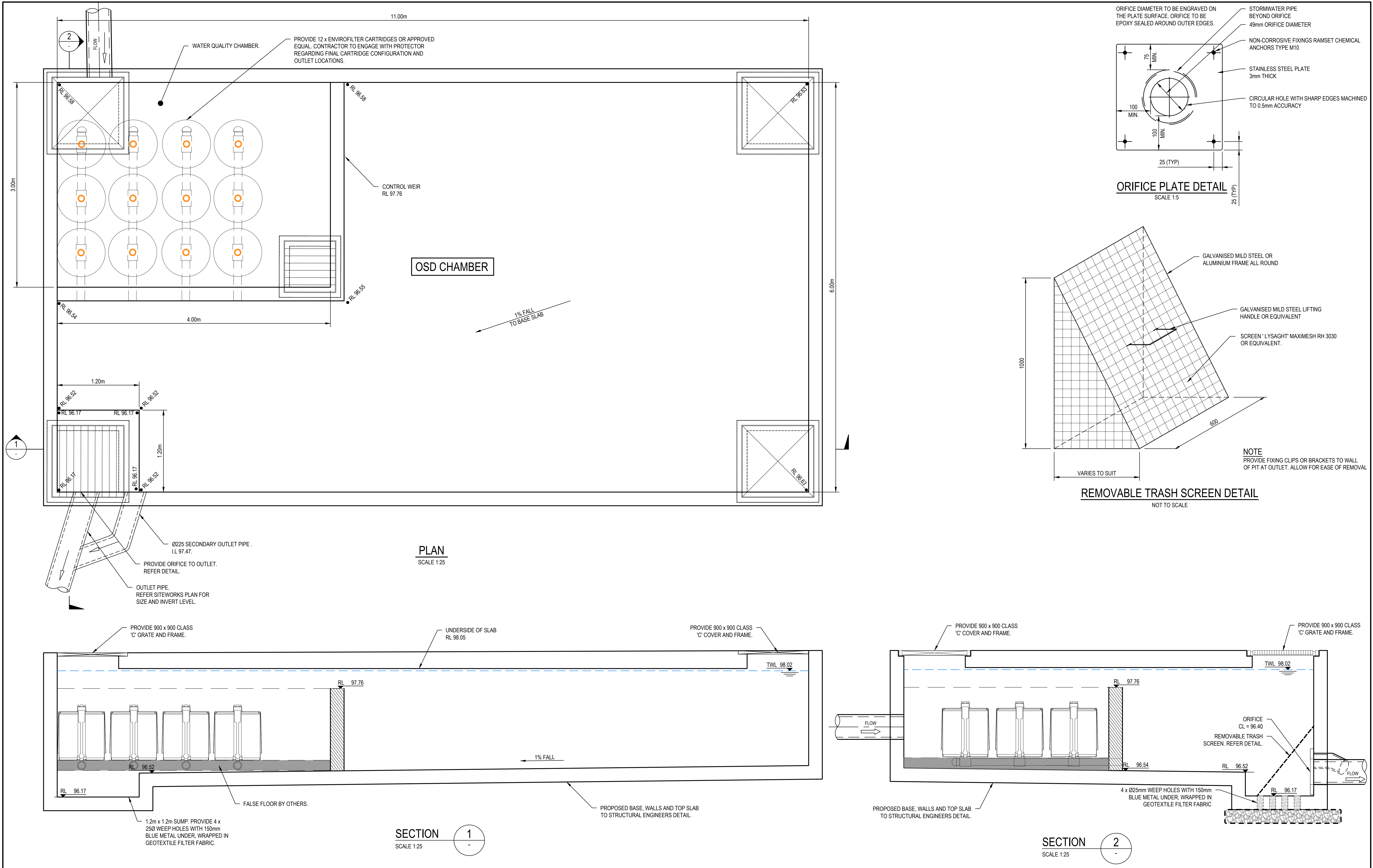


Client

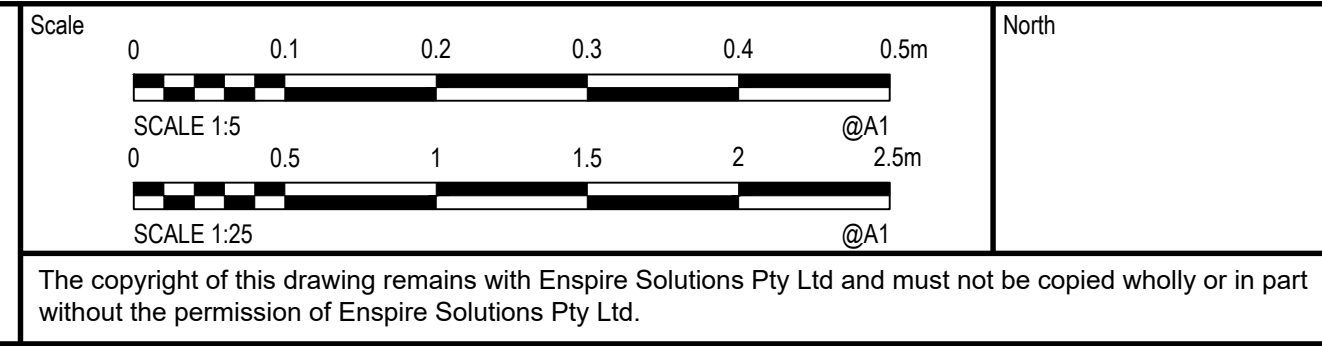
The logo for SOMA WELLNESS is a circular emblem. It is divided into two equal halves by a diagonal line running from the top-left to the bottom-right. The upper-left half is a solid yellow color, and the lower-right half is a solid teal color. In the center of the circle, the word "SOMA" is written in a large, bold, white, sans-serif font. Directly beneath "SOMA", the word "WELLNESS" is written in a smaller, white, sans-serif font.

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Project Number/Drawing Number	Revision
230026-DA-C14.02	3



REV.	DATE	DESCRIPTION	DRN.	DES.	VERIF.	APPD.
3	20/11/2023	ISSUED FOR DEVELOPMENT APPLICATION	NAF	AD	MKH	MKH
2	1/09/2023	ISSUED FOR DEVELOPMENT APPLICATION	CB	EZ	MKH	MKH
1	24/05/2023	ISSUED FOR COORDINATION	NPH	EBO	MHO	MHO



Project 8 GREGORY HILLS DRIVE GLEDSDWOOD HILLS N.S.W. SOMA CHILDCARE CENTRE	Title ON-SITE DETENTION TANK PLAN AND DETAILS
--	--

Scale AS SHOWN	Status FOR INFORMATION ONLY NOT TO BE USED FOR CONSTRUCTION
Date 24/05/2023	Project Number/Drawing Number 230026-DA-C18.51
Size A1	Revision 3
Datum MGA94	



CATCHMENT BREAKDOWN			
CATCHMENT LABEL	AREA(m²)	PERVIOUS FRACTION (%)	IMPERVIOUS FRACTION (%)
B1	2,650	0%	100%
B2	603	25%	75%
B3	122	100%	0%
B4	124	50%	50%

LEGEND

CATCHMENT B1

CATCHMENT B2

CATCHMENT B3

CATCHMENT B4

INTERNAL CATCHMENT BOUNDARY

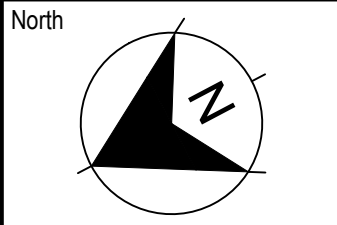
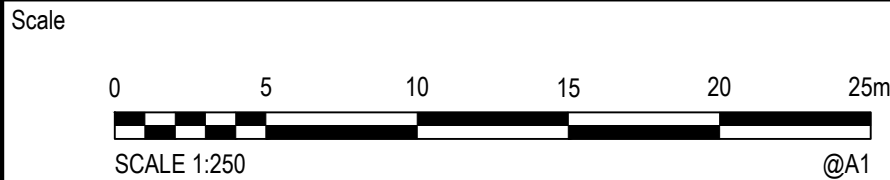
B1

AREA = 2645m²

CATCHMENT NAME

CATCHMENT AREA

REV.	DATE	DESCRIPTION	DRN.	DES.	VERIF.	APPD.
4	22/03/2024	TEMPORARY WALL ADDED. DA ISSUE.	NAF	AD	MKH	MKH
3	20/11/2023	ISSUED FOR DEVELOPMENT APPLICATION	NAF	AD	MKH	MKH
2	1/09/2023	ISSUED FOR DEVELOPMENT APPLICATION	CB	EZ	MKH	MKH
1	24/05/2023	ISSUED FOR COORDINATION	NPH	EBO	MHO	

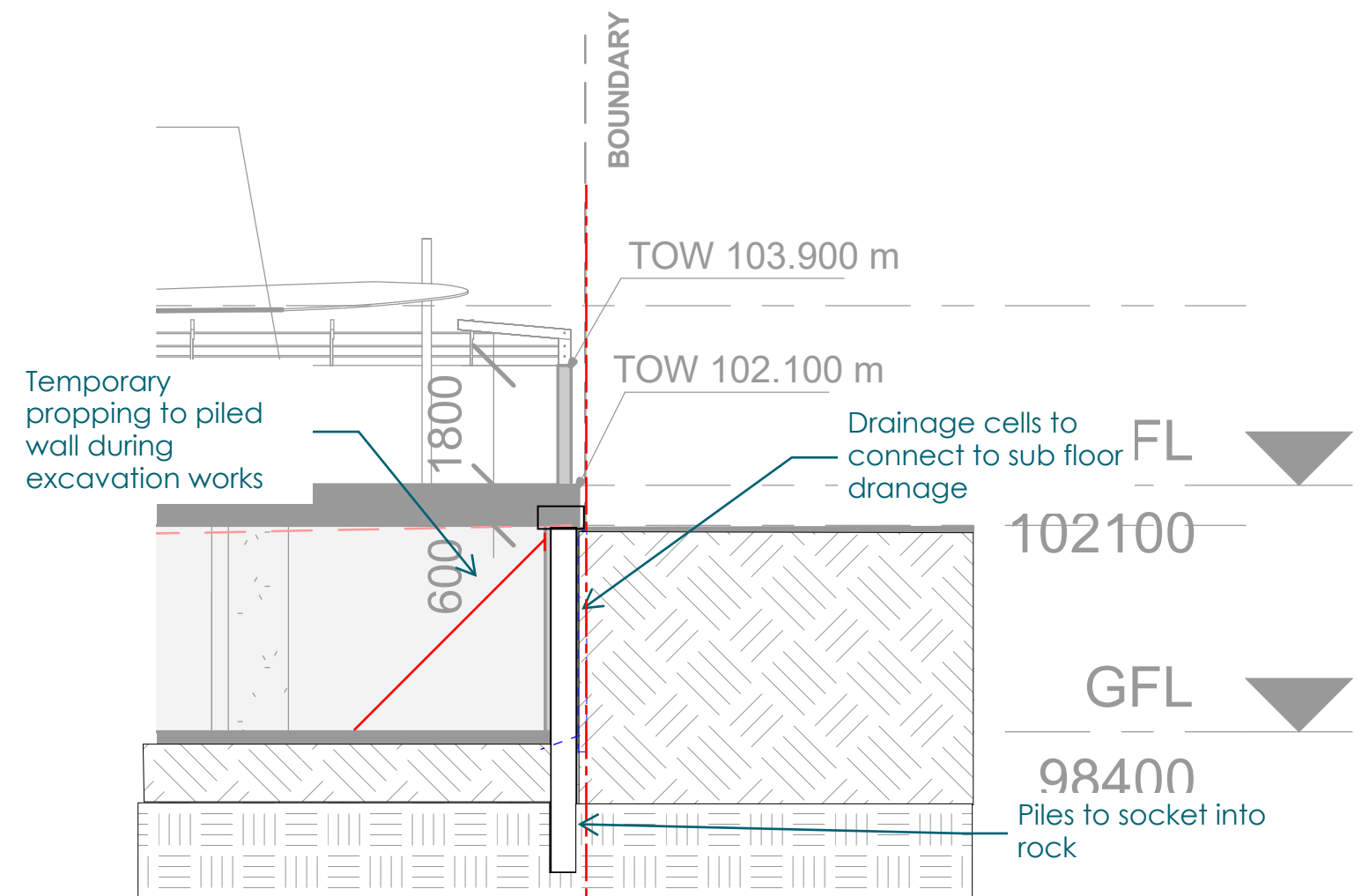


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Project	8 GREGORY HILLS DRIVE GLEDSDWOOD HILLS N.S.W. SOMA CHILDCARE CENTRE
Title	CATCHMENT PLAN

Scale	1: 250
Date	24/05/2023
Size	A1
Datum	MGA94

Status		FOR INFORMATION ONLY NOT TO BE USED FOR CONSTRUCTION	
Project Number/Drawing Number		230026-DA-C20.01	
Revision		4	



PILED SHORING WALL

1. This option allows all work to be undertaken within our site.
2. Soldier pile wall to be 150mm from boundary, 450mm DIA piles spacing TBC.
3. Shotcrete wall spanning between piles, thickness TBC. Each shotcrete panel to have strip drain cell connected to sub soil drainage under slab.
4. Wall is designed as a "wet wall" construction.
5. Shoring wall will need to be propped until the slab over is poured and cured, providing lateral restraint.